

CAPE CROSSING

Being a part of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.



JUNE 8, 2022
REVISED: JULY 13, 2022
REVISED: AUGUST 4, 2022
REVISED: AUGUST 26, 2022
REVISED: SEPTEMBER 29, 2022
REVISED: NOVEMBER 28, 2022
REVISED: MARCH 03, 2023

Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1927). The south line of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East has a bearing of S89°31'45"E.

BUILDING SETBACKS

"THE VILLAS"

LOTS 1 - 26 & LOTS 44-63

FRONT SETBACK = 25 FEET

SIDE SETBACK = 7.5 FEET

SIDE SETBACK CORNER = 25 FEET

REAR SETBACK = 25 FEET

"THE ESTATES"

LOTS 27 - 43

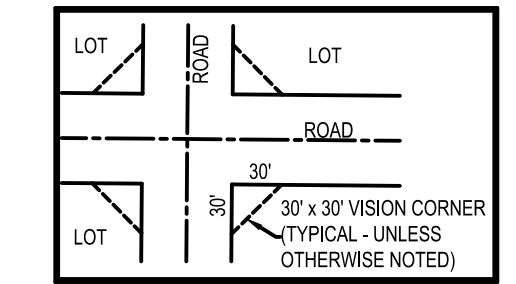
FRONT SETBACK = 25 FEET

SIDE SETBACK = 10 FEET

REAR SETBACK = 25 FEET

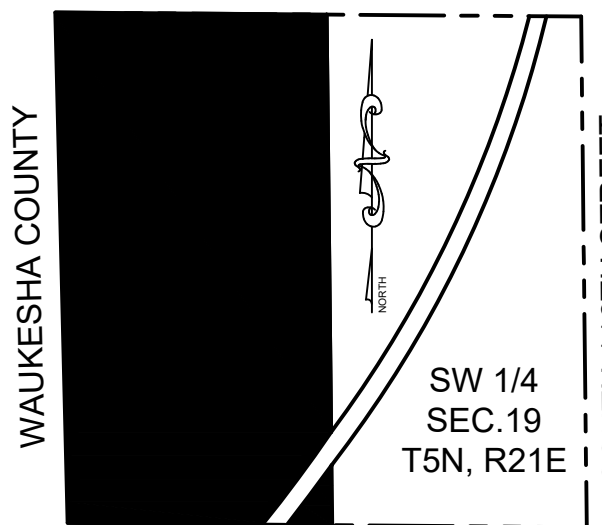
VISION CORNER EASEMENT DETAIL

NOT TO SCALE



VICINITY SKETCH

SCALE 1"=1000'



SW 1/4 SEC. 19 T5N, R21E

WEST RYAN ROAD

SOUTH 116TH STREET

UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

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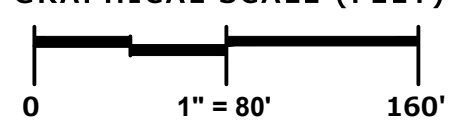
UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

GRAPHICAL SCALE (FEET)



SE CORNER, SW 1/4 SEC. 19, T5N, R21E (FOUND CONC. MON. W/ BRASS CAP)

DEVELOPER/OWNER:
CAPE CROSSING LLC
ATTN: ERIC OBARSKI
N27 W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PH: 262-542-9200

LINE	LENGTH	DIRECTION
L1	83.35'	S00°28'12"W
L2	110.37'	S00°28'12"W
L3	128.77'	S47°40'31"E
L4	128.79'	S47°40'31"E

WISCONSIN ELECTRIC POWER COMPANY EASEMENT PER DOC. 3236448

CROSS ARM EASEMENT PER DOC. 3236448

100' TREE CLEARING EASEMENT PER DOC. 3236448

LEGEND:

- Denotes Wetland
- Denotes High Tension Tower
- Denotes Found "I" Iron Pipe
- Denotes Found 3/4" Iron Rod
- Denotes Set 1-1/4" X 18" Iron Rebar, 4.3 LBS./FT.
- Denotes lot areas to the nearest square foot.

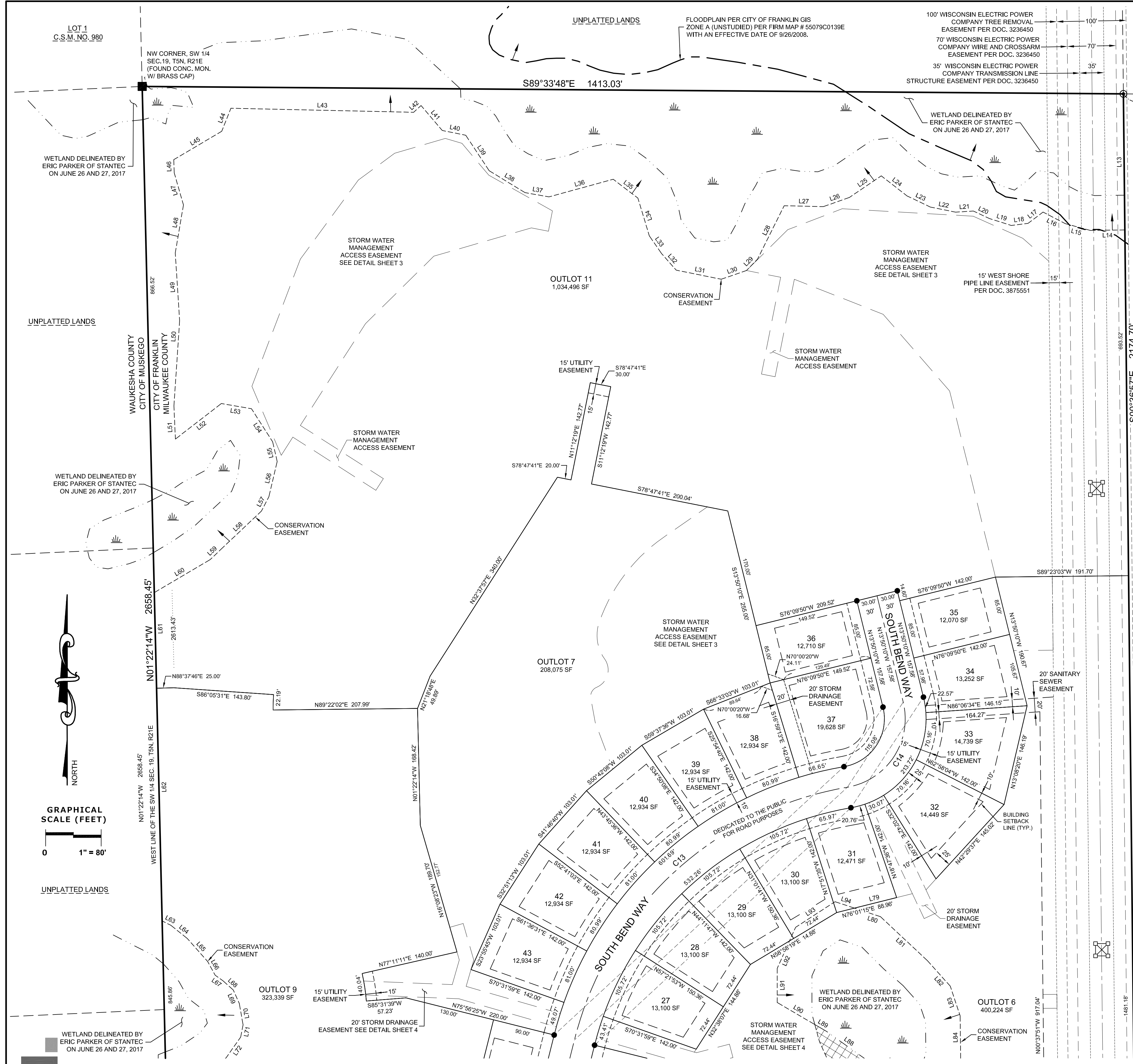
All other corners set as 3/4" x 18" Iron Rebar, 1.5 LBS./FT.

All distances computed to the nearest 0.01'

All angles computed to the nearest 00°00'00.00" and measured to the nearest 00°00'01"

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP



CAPE CROSSING

Being a part of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

GENERAL NOTES

- FLOOD ZONE CLASSIFICATION: THE PROPERTY LIES WITH IN ZONE "X" AND ZONE "A" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 55079C0139E WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008. ZONE "X" AREAS ARE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. ZONE "A" AREAS DO NOT HAVE BASE FLOOD ELEVATIONS DETERMINED.
- VISION CORNER EASEMENT: NO VISUAL OBSTRUCTIONS, SUCH AS STRUCTURES, PARKING, OR VEGETATION, SHALL BE PERMITTED BETWEEN THE HEIGHTS OF 2.5 FEET AND 10 FEET ABOVE THE PLANE THROUGH THE MEAN CURB GRADES WITHIN THE VISION CORNER EASEMENT
- OUTLOT 1, OUTLOT 3, OUTLOT 5 AND OUTLOT 7 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED AND MAINTAINED BY THE CAPE CROSSING HOMEOWNERS ASSOCIATION FOR OPEN SPACE AND PEDESTRIAN PATHS.
- OUTLOT 2 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED AND MAINTAINED BY THE CAPE CROSSING HOMEOWNERS ASSOCIATION FOR OPEN SPACE AND MONUMENT SIGN.
- OUTLOT 4 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED BY THE DEVELOPER FOR THE EVENTUAL PURPOSE OF CREATING A PUBLIC TRAIL HEAD.
- OUTLOT 6 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED AND MAINTAINED BY THE CAPE CROSSING HOMEOWNERS ASSOCIATION FOR OPEN SPACE AND STORM WATER MANAGEMENT.
- OUTLOT 8 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR OPEN SPACE, STORM WATER MANAGEMENT, COMMUNITY CLUBHOUSE AND POOL.
- OUTLOT 9, OUTLOT 10 AND OUTLOT 11 OF THE PLAT OF CAPE CROSSING SHALL BE OWNED BY THE DEVELOPER FOR FUTURE DEVELOPMENT.
- EACH INDIVIDUAL LOT OWNER SHALL HAVE AN UNDIVIDABLE FRACTIONAL OWNERSHIP OF OUTLOTS 1 THROUGH OUTLOT 8 AND THAT MILWAUKEE COUNTY AND THE CITY OF FRANKLIN SHALL NOT BE LIABLE FOR ANY FEES OR SPECIAL ASSESSMENTS IN THE EVENT MILWAUKEE COUNTY OR THE CITY OF FRANKLIN SHOULD BECOME THE OWNER OF ANY LOT IN THE SUBDIVISION BE REASON OF DELINQUENCY. THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN SAID OUTLOTS IN AN UNOBSTRUCTED CONDITION SO AS TO MAINTAIN ITS INTENDED PURPOSE. THE HOMEOWNERS ASSOCIATION GRANTS THE CITY THE RIGHT (BUT NOT THE RESPONSIBILITY) TO ENTER UPON THESE OUTLOTS IN ORDER TO INSPECT, REPAIR OR RESTORE SAID OUTLOTS TO ITS INTENDED PURPOSE. EXPENSES INCURRED BY THE CITY FOR SAID INSPECTION, REPAIR OR RESTORATION OF SAID OUTLOTS MAY BE PLACED AGAINST THE TAX ROLL FOR SAID ASSOCIATION AND COLLECTED AS A SPECIAL CHARGE BY THE CITY.
- WETLAND AS DELINEATED BY STANTEC ON JUNE 26 AND 27, 2017 AND CONURRED WITH BY THE WISCONSIN DNR ON DECEMBER 18, 2017.
- LANDSCAPE BUFFER/EASEMENT: This strip is reserved for the planting of trees and shrubs; the building of structures (other than a pedestrian path, sidewalk and a subdivision monument sign) hereon is prohibited.
- DIMENSIONS ALONG CURVES ARE ARC LENGTHS.
- ALL ROADS WITHIN THIS PLAT WILL BE DEDICATED TO THE PUBLIC.
- CONSERVATION EASEMENT RESTRICTIONS:
 - No construction or placement of buildings or any structure;
 - No construction or any improvements, unless, notwithstanding covenant 1 above, the improvement is specifically and previously approved by the Common Council of the City of Franklin, upon the advice of such other persons, entities, and agencies as it may elect; such improvements as may be so approved being intended to enhance the resource value of the protected property to the environment or the public and including, but not limited to animal and bird feeding stations, park benches, the removal of animal blockage of natural drainage or other occurring blockage of natural drainage, and the like;
 - No excavation, dredging, grading mining, drilling, or change the topography of the land or its natural condition in any manner, including any cutting or removal of vegetation, except for the removal of dead or diseased trees;
 - No filling, dumping, or depositing of any material whatsoever, including, but not limited to soil, yard waste, or other landscape materials, ashes, garbage, or debris;
 - No planting of any vegetation not native to the protected property or not typical wetland vegetation;
 - No operating snowmobiles, dune buggies, motorcycles, all-terrain vehicles or any other types of motorized vehicles.
- THE HATCHED AREA OF THE WETLAND WAS DEEMED NO JURISDICTION FROM THE USACE ON MAY 26, 2022 (2022-00415-MMG), A NONFEDERAL WETLAND EXEMPTION FROM THE WISCONSIN DNR ON AUGUST 10, 2022 (EXE-SE-2022-41-02358) WAS RECEIVED TO ALLOW FOR FILLING OF THE HATCHED AREA.
- Maximum Impervious Coverage (MIC) = 43%/Lot.
Lot Coverage - ESTATES = 25%
Lot Coverage - VILLAS = 30%

UNPLATTED LANDS



BUILDING SETBACKS

"THE VILLAS"
LOTS 1 - 26 & LOTS 44-63

- FRONT SETBACK = 25 FEET
- SIDE SETBACK = 7.5 FEET
- SIDE SETBACK CORNER = 25 FEET
- REAR SETBACK = 25 FEET

"THE ESTATES"
LOTS 27 - 43

- FRONT SETBACK = 25 FEET
- SIDE SETBACK = 10 FEET
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LEGEND:

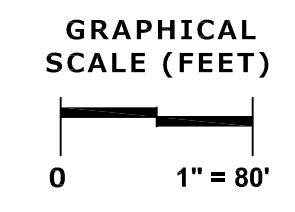
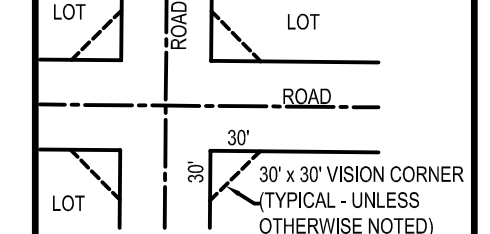
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- Denotes High Tension Tower
- Denotes Found 1" Iron Pipe
- Denotes Found 3/4" Iron Rod
- Denotes Set 1-1/4" x 18" Iron Rebar, 4.3 LBS./FT.
- Denotes lot areas to the nearest square foot.

All other corners set are 3/4" x 18" Iron Rebar, 1.5 LBS./FT.

All distances computed to the nearest 0.01'
All angles computed to the nearest 00°00'00.05" and measured to the nearest 00°00'00"

VISION CORNER EASEMENT DETAIL

NOT TO SCALE



UNPLATTED LANDS

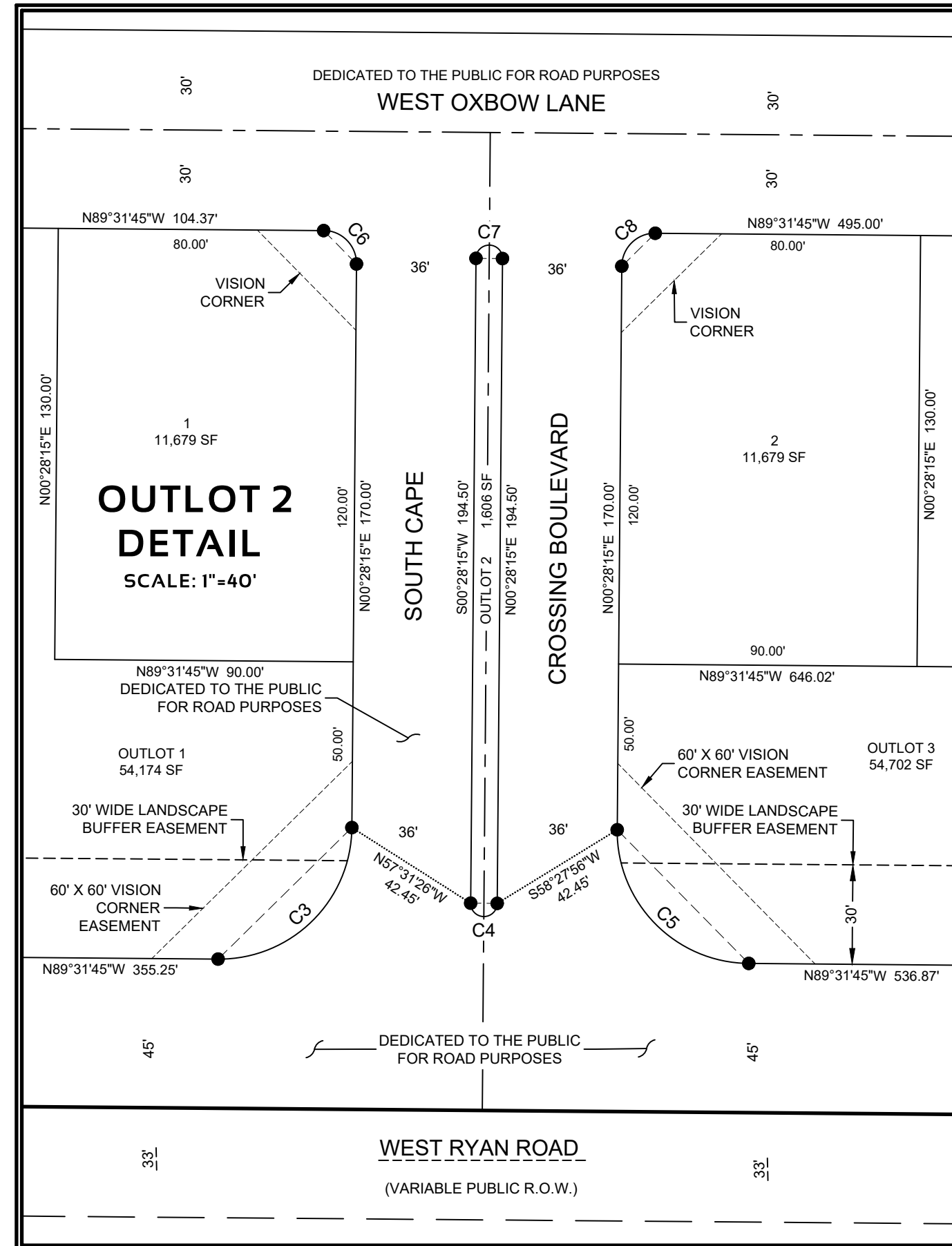
- SEE SHEET 1 -



JUNE 8, 2022
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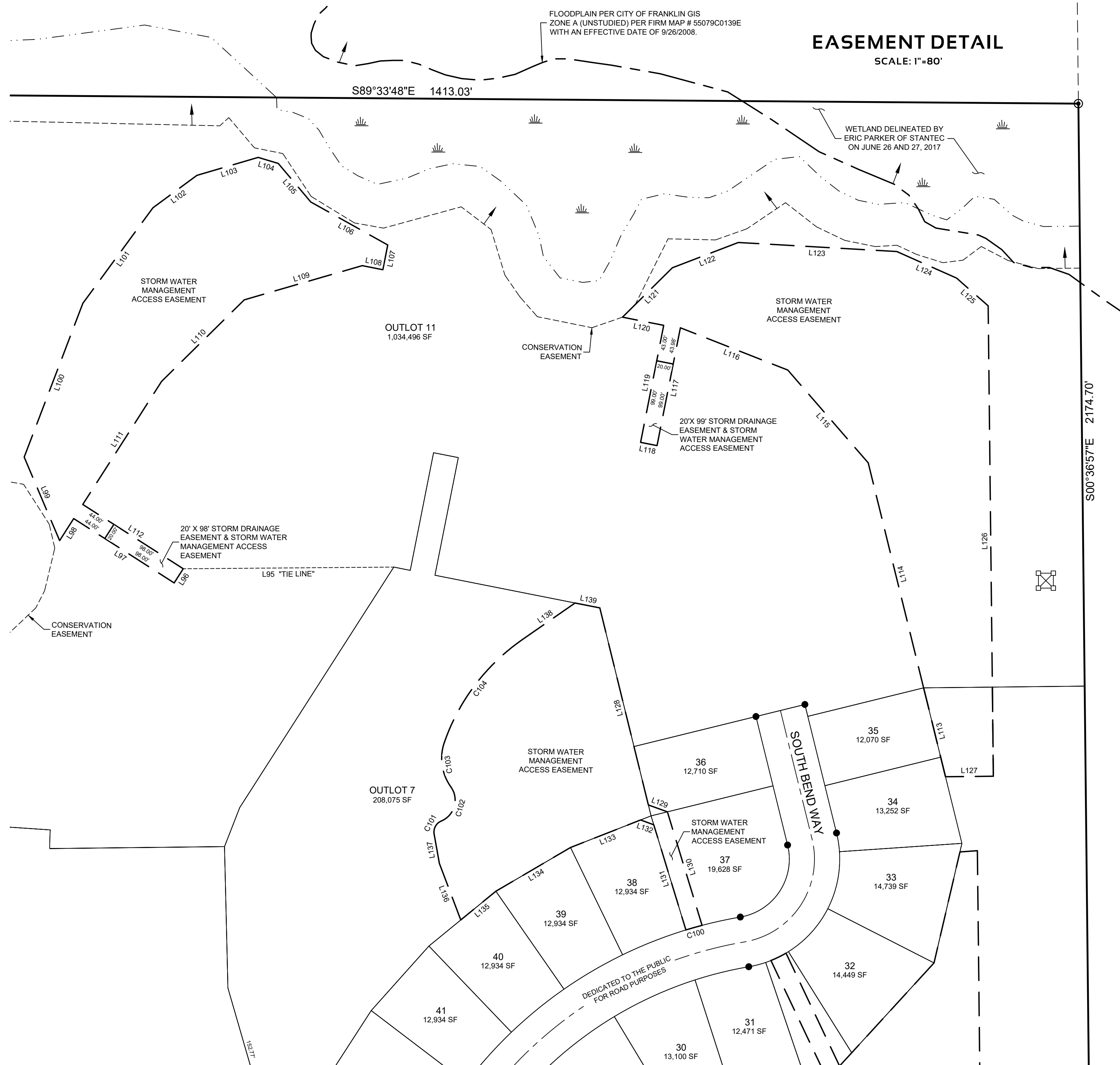
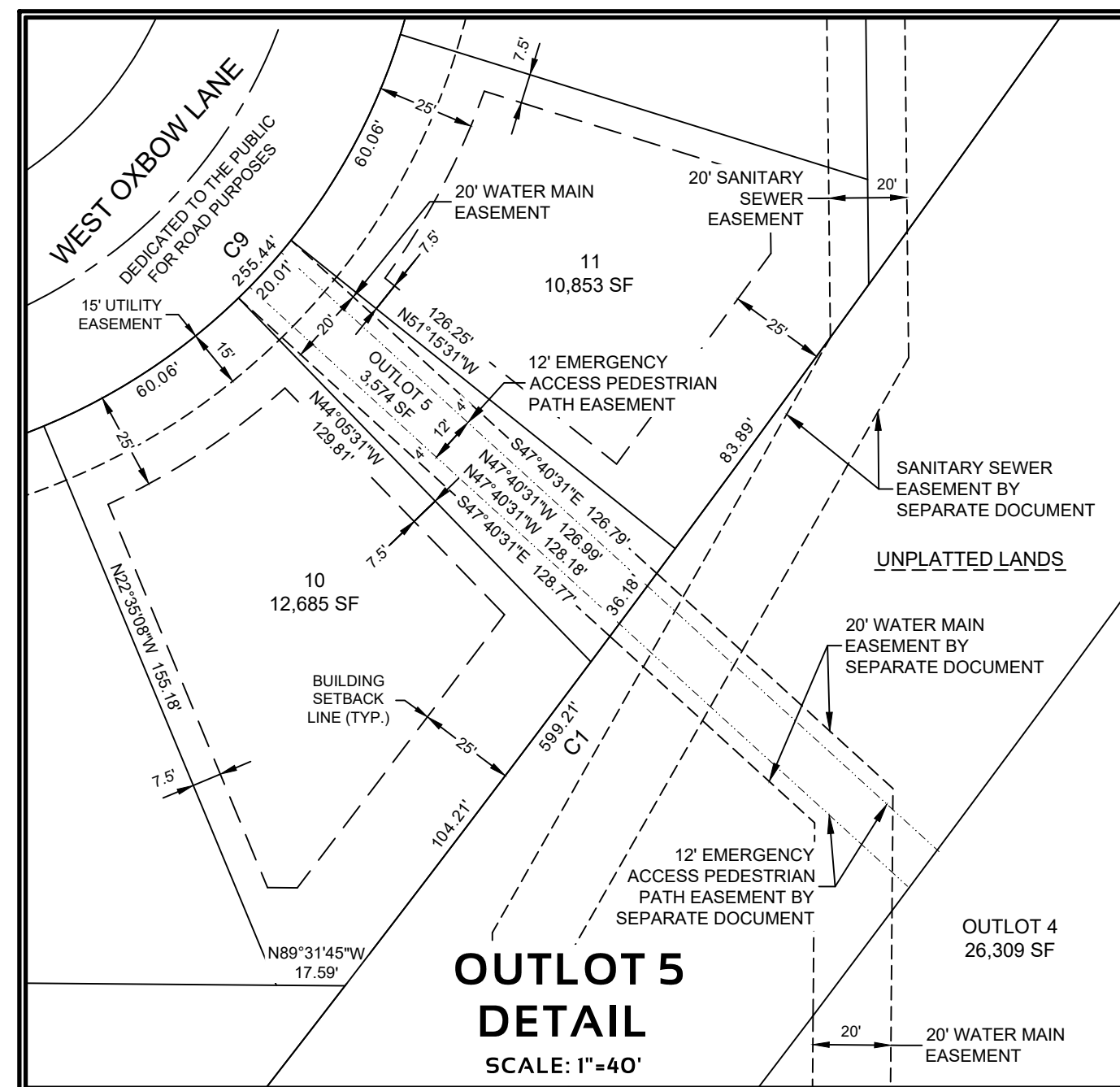
CAPE CROSSING

Being a part of the Southwest 1/4 and the Northwest 1/4 of the
 Southwest 1/4 of Section 19, Township 5 North, Range 21 East,
 City of Franklin, Milwaukee County, Wisconsin.



LEGEND:
 ● - Denotes Set 1-1/4" X 18" Iron Rebar, 4.3 LBS./FT.
 SF - Denotes lot areas to the nearest square foot.

All other corners set are 3/4" x 18" Iron Rebar, 1.5 LBS./FT.



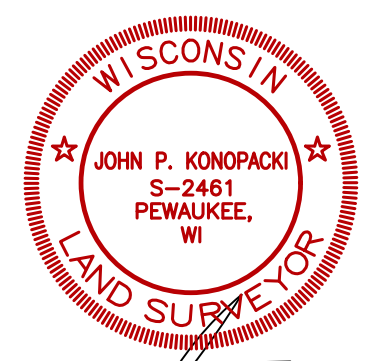
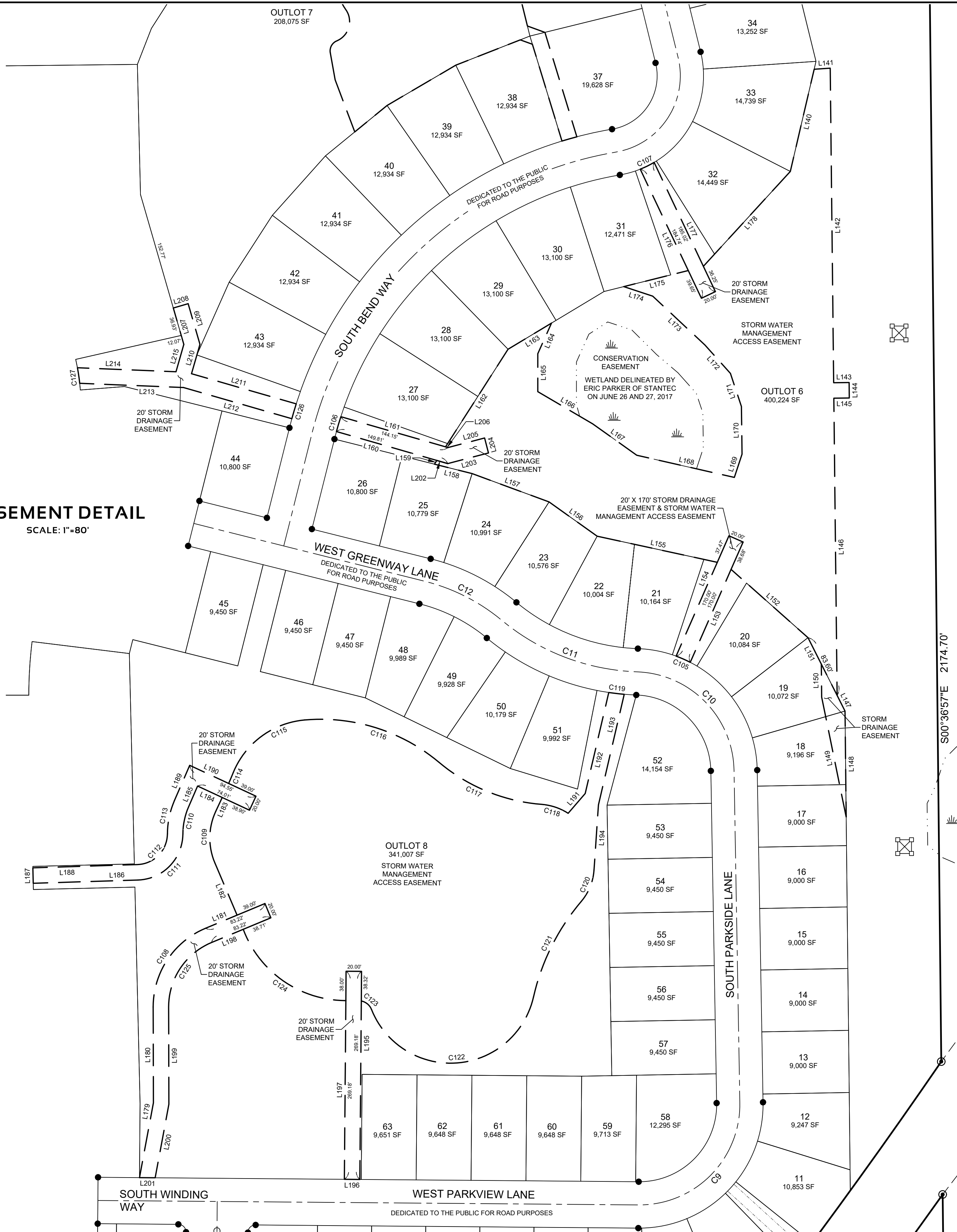
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CAPE CROSSING

Being a part of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

EASEMENT CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C100	20.00'	520.00'	S74°06'55"W	20.00'
C101	18.95'	14.00'	N28°37'33"E	17.54'
C102	48.65'	27.00'	N15°47'12"E	42.33'
C103	55.67'	58.00'	N08°20'14"W	53.56'
C104	156.05'	248.00'	N37°11'13"E	153.48'
C105	20.01'	160.00'	N66°17'45"W	20.00'
C106	20.00'	460.00'	N16°34'07"E	20.00'
C107	20.02'	130.00'	N63°50'26"E	20.00'
C108	129.67'	110.00'	N33°37'21"E	122.29'
C109	68.70'	82.00'	N00°57'18"E	66.71'
C110	36.18'	90.00'	S11°54'03"W	35.94'
C111	91.98'	60.00'	S44°18'07"W	83.24'
C112	61.32'	40.00'	N44°18'07"E	55.49'
C113	44.22'	110.00'	N11°54'03"E	43.93'
C114	15.24'	518.00'	N23°00'23"E	15.24'
C115	120.52'	110.00'	N53°33'00"E	114.58'
C116	187.27'	237.96'	S72°31'07"E	182.48'
C117	145.73'	235.00'	S67°44'18"E	143.40'
C118	36.52'	74.00'	S71°21'51"E	36.15'
C119	20.13'	320.00'	S83°23'28"E	20.13'
C120	44.57'	70.00'	S22°06'14"W	43.82'
C121	139.54'	290.00'	S26°33'38"W	138.20'
C122	279.51'	110.00'	S85°34'16"W	210.16'
C123	17.94'	18.00'	N50°11'02"W	17.21'
C124	171.93'	142.00'	N55°12'28"W	161.62'
C125	106.09'	90.00'	S33°37'21"W	100.06'
C126	20.00'	520.00'	S16°30'35"W	20.00'
C127	20.36'	275.00'	N08°24'01"W	20.36'

EASEMENT DETAIL
SCALE: 1"=80'



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SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN) WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided that part of the Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin, described as follows:

Beginning at the southwest corner of the Southwest 1/4 of said Section 19; Thence North 01°22'14" West along the west line of said Southwest 1/4, 2658.45 feet to the northwest corner of said Southwest 1/4; Thence South 89°33'48" East along the north line of said Southwest 1/4, 1413.03 feet to the east line of the west 1/2 of said Southwest 1/4 as described by the Original Section Survey; Thence South 00°36'57" East along said east line, 2174.70 feet to the northwesterly line of The Milwaukee Electric Railway and Light Company (now Wisconsin Electric Power Company) as recorded in the Register of Deeds office for Milwaukee County, in Volume 1395, Page 367 and a point on a curve; Thence southwesterly 599.21 feet along the arc of said curve to the right, whose radius is 7777.60 feet and whose chord bears South 36°38'24" West, 599.06 feet to the south line of said Southwest 1/4; Thence South 89°31'45" East along said south line and a "Tie Line", 127.05 feet to the southeasterly line of the aforesaid Milwaukee Electric Railway and Light Company and a point on a curve; Thence northeasterly 387.26 feet along the arc of said curve to the left, whose radius is 7877.60 feet and whose chord bears North 36°51'54" East, 387.22 feet to the east line of the west 1/2 of said Southwest 1/4 as described by the Original Section Survey; Thence South 00°36'57" East along said east line, 311.75 feet to the aforesaid south line of said Southwest 1/4; Thence North 89°31'45" West along said south line, 235.67 feet to the aforesaid southeasterly line of the Milwaukee Electric Railway and Light Company; Thence continuing North 89°31'45" West along the aforesaid "Tie Line" 127.05 feet; Thence continuing North 89°31'45" West along said south line of said Southwest 1/4, 1015.31 feet to the Point of Beginning.

Containing 3,659,363 square feet (84.0074 acres) of land, Gross AND 3,397,057 square feet (77.9857 acres) of land Net, more or less.

That I have made such survey, land division and map by the direction of CAPE CROSSING LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of Franklin Land Division and Platting Ordinance in surveying, mapping and dividing the lands within the subdivision.

John P. Konopacki Professional Land Surveyor S-2461



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UTILITY EASEMENT PROVISIONS

An easement for electric and communications service is hereby granted to WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as WE Energies, Grantee WISCONSIN BELL, INC., d/b/a AT&T WISCONSIN, a Wisconsin Corporation, Grantee and CHARTER CABLE PARTNERS, LLC, Grantee.

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonable required incident to the rights herein given, and the right to enter upon the subdivided property of all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonable possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities or communication facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without the written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CAPE CROSSING

Being a part of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, City of Franklin, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

CAPE CROSSING LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

CAPE CROSSING LLC also certifies that this plat is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

- 1. City of Franklin
2. Wisconsin Department of Administration
3. Milwaukee County

IN WITNESS WHEREOF, the said CAPE CROSSING LLC, has caused these presents to be signed by (name) _____, its member, at (city) _____, County, Wisconsin, on this _____ day of _____, 20____.

In the presence of: CAPE CROSSING LLC

Member - _____

STATE OF WISCONSIN) _____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, _____, member, of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such member of said limited liability company and acknowledged that he executed the foregoing instrument as such officer as the deed of said limited liability company, by its authority.

Notary Public Name: _____ State of Wisconsin My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its President, and its corporate seal to be hereunto affixed this _____ day of _____, 20____.

President _____

STATE OF WISCONSIN) _____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public Name: _____ State of Wisconsin My Commission Expires: _____

CITY OF FRANKLIN CERTIFICATE

Resolved, that the plat known as CAPE CROSSING, being a part of the Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 21 East, in the City of Franklin, which has been filed for approval, be and is hereby approved as required by Chapter 236 of the Wisconsin State Statutes.

I hereby certify that the foregoing is a true and correct copy of resolution No. _____ adopted by the Common Council of the City of Franklin, Wisconsin on the _____ day of _____, 20____, which action becomes effective upon receipt of approval of all other reviewing agencies and all conditions of the City of Franklin's approval were satisfied as of the _____ day of _____, 20____.

Date _____ Stephen Olson, Mayor

Date _____ Sandra L. Wesolowski, City Clerk

CITY OF FRANKLIN TREASURER'S CERTIFICATE

STATE OF WISCONSIN) MILWAUKEE COUNTY) SS

I, Denise Gilbert, being duly appointed, qualified and acting Director of Finance and Treasurer of the City of Franklin, do hereby certify in accordance with the records in my office, there are no unpaid taxes or special assessments as of _____, 20____ on any of the lands included in the plat of CAPE CROSSING.

Date _____ Denise Gilbert, Director of Finance and Treasurer

MILWAUKEE COUNTY TREASURER'S CERTIFICATE

STATE OF WISCONSIN) MILWAUKEE COUNTY) SS

I, David Cullen, being duly elected, qualified and acting Treasurer of Milwaukee County, do hereby certify that the records in my office show no unpaid taxes and no unredeemed tax sales or special assessments as of _____, 20____ affecting the lands included in the plat of CAPE CROSSING.

Date _____ David Cullen, Milwaukee County Treasurer

Table with columns: CURVE, BOUNDARY, LENGTH, RADIUS, DELTA, BEARING, CHORD, TANGENT, TANGENT. Contains boundary curve data for various lots and sections.

Table with columns: LINE, LENGTH, DIRECTION. Contains conservation easement line data for lots L5 through L34.

Table with columns: LINE, LENGTH, DIRECTION. Contains easement line data for lots L95 through L215.

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