

WOODLAND TRAILS ADDITION NO. 1

BEING A REDIVISION OF OUTLOT 2 OF "WOODLAND TRAILS", LOCATED IN A PART OF THE NORTHWEST 1/4, NORTH EAST 1/4, AND SOUTHWEST 1/4 OF SECTION 13, TOWN 8 NORTH, RANGE 19 EAST, IN THE VILLAGE OF SUSSEX, WAUKESHA COUNTY, WISCONSIN.

OWNER:
WOODLAND TRAILS PRESERVE, LLC
N2724025 PAUL COURT, STE. 100
POMONA, WI 53072
PHONE: (262) 542-9200
FAX: (262) 549-9324

GENERAL NOTES:

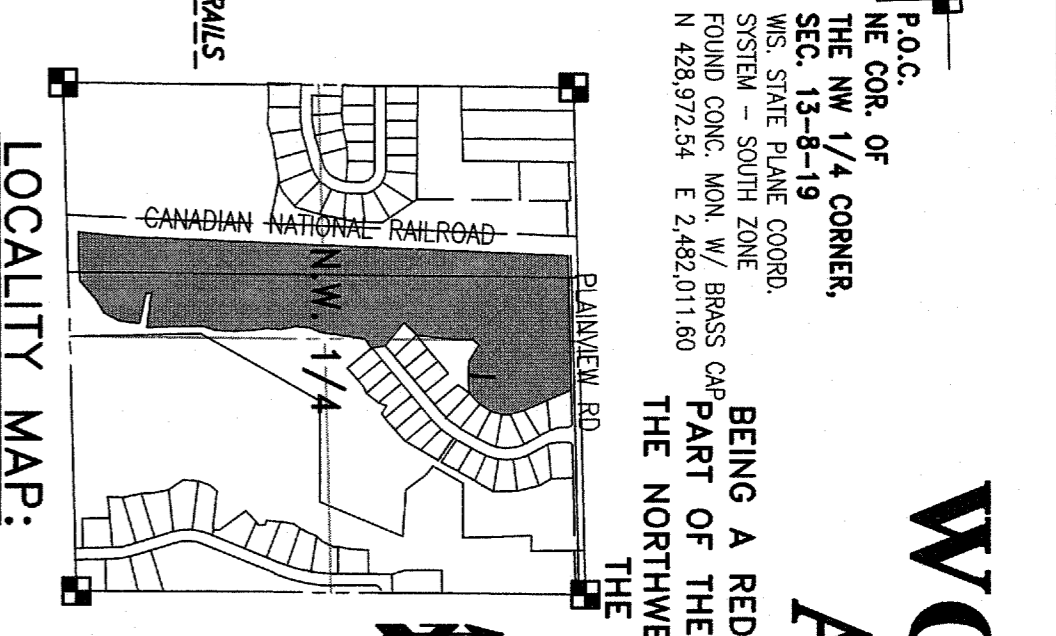
- Indicates Set 1,200' outside diameter x 18" long Reinforcing Bar weighing 4,300 lbs. per lined foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1,500 lbs. per lined foot.
- Indicates Found 0.75" outside diameter Reinforcing Bar unless otherwise noted.
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to nearest second and computed to the nearest half-second.
- All bearings are referenced to the grid north of the Wisconsin State Plane Coordinate System (NAD 1927 datum) - South Zone, in which the North line of the N.W. 1/4 of Section 13, T. 8 N., R. 19 E. is taken to bear North 88°47'02" East.
- Outlots 5 and 6 to be retained by the developer.
- Waukesha County shall not be liable for any fees or special charges in the event they become the owner of any lot or outlot in the subdivision by reason of tax delinquency.

The Owners of the residential Lots within the "Woodland Trails" Subdivision, this Subdivision and any future Subdivisions shall each own an equal undivided fractional interest in outlot 4 of this Subdivision, this Subdivision, this Subdivision, this Subdivision, and any future subdivisions, and any other lot or outlot in the Subdivision, by reason of tax delinquency. The Owners of the residential Lots within "Woodland Trails" Subdivision, this Subdivision, and any future subdivisions shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore the landscape assessment. Said repairs, maintenance and restoration shall be performed by the Owners of all lots within this Subdivision.

The landscape assessment to be granted to each individual lot owner within this Subdivision. The owners of the residential lots within this subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore the landscaping within said landscape assessment. Said repairs, maintenance and restoration shall be performed by the owners of all lots within this subdivision.

Private Drainage Easements are established to provide for the unobstructed flow of storm water runoff from outlots 5 and 6 to the Village of Sussex. Owners of lots on which these private drainage easements exist shall be responsible for keeping these areas free of any obstructions that may restrict or block this flow.

There shall be no direct vehicular access to the "Planview Road" from any lot or outlot in this Subdivision.



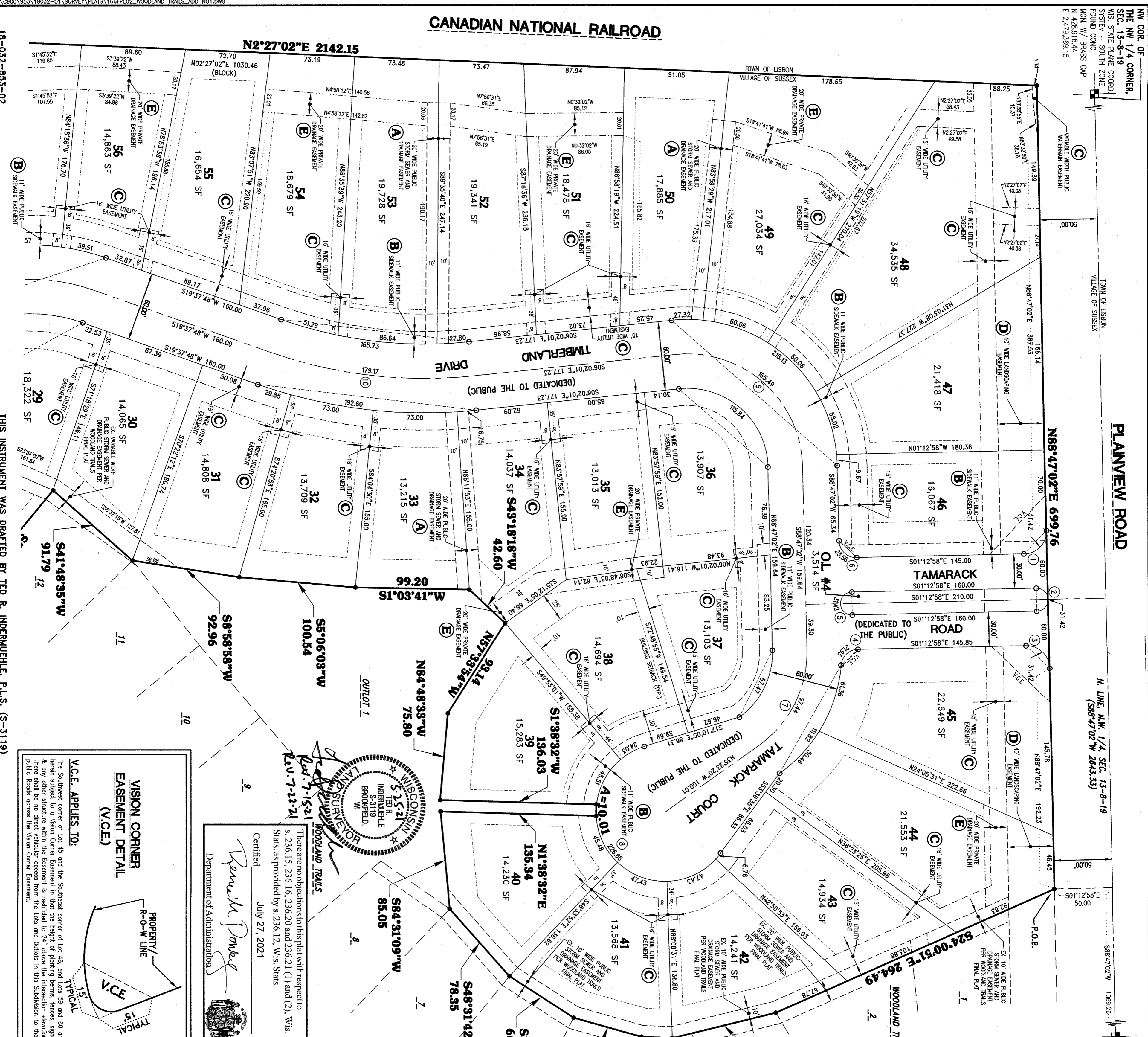
TRIO
LAND SURVEYORS & ENGINEERS, INC.
4100 N. Calhoun Rd.
Suite 800
Brookfield, WI 53005
Phone: (262) 790-1400
Fax: (262) 790-1401

VISION CORNER EASEMENT DETAIL (VCE)

PROPERTY/R-O-W LINE
V.C.E.
TYPICAL

SCALE: 1" = 50'

CANADIAN NATIONAL RAILROAD



VISION CORNER EASEMENT DETAIL (VCE)

PROPERTY/R-O-W LINE
V.C.E.
TYPICAL

SCALE: 1" = 50'

VISION CORNER EASEMENT DETAIL (VCE)

V.C.E. APPLIES TO:

The Southeast corner of Lot 45 and the Southwest corner of Lot 46, and Lots 59 and 60 one (1) inch from the centerline of the easement and any other structure within the Easement is restricted to 24" above the intersection elevation. There shall be no direct vehicular access from the Lots and Outlots in this Subdivision to the public roads across the Vision Corner Easement.

PUBLIC EASEMENT PROVISIONS:

Permanent non-exclusive easements granted to the Village of Sussex ("Village") upon, within, and beneath the land identified on this final plat as:

(A) - "20' Wide Public Storm Sewer Easement"

(B) - "11' Wide Public Sidewalk Easement"

4611295
WISCONSIN STATE RECORDS
RECORDED ON:
August 24, 2021 08:08 AM
Register of Deeds
3 PGS FEE: \$50.00
TRANS FEE: \$0.00
Book 55 Page 168-170

PUBLIC EASEMENT PROVISIONS:

Permanent non-exclusive easements granted to the Village of Sussex ("Village") upon, within, and beneath the land identified on this final plat as:

(A) - "20' Wide Public Storm Sewer Easement"

(B) - "11' Wide Public Sidewalk Easement"

1. Purpose: The purpose of these Easements is to:

- Install, construct, maintain, and replace underground storm sewer utility facilities, together with all necessary and appropriate equipment under and above the ground as deemed necessary by the Village, all to transmit storm water.
- Surface storm water conveyance.
- 11' Wide Public Sidewalk Easement:
- Construct, maintain, repair, and replace pedestrian sidewalks in the sidewalk easements depicted on the final plat.
- The general public shall have the right to traverse the "11' Wide Public Sidewalk Easement" area for use as a public sidewalk.
- Buildings and other structures that no structures will be erected in the easement area, or in such close proximity to the easement, such as to prevent the Village from exercising its rights under this easement.
- Elevation: The land owner agrees that the elevation of the existing ground surface within the easement area will not be altered by more than four (4) inches without the written consent of the Village.
- Restoration: The Village agrees to restore or cause to be restored the land owner's land to grade and replace sod or grass disturbed. This restoration, however, does not apply to any trees, bushes, branches, or roots which may interfere with the Village's use of the easement area.
- Exercise of Rights: It is agreed that the complete exercise of rights herein conveyed may be gradual and not fully exercised until some time in the future, and that none of the rights herein granted shall be lost by non-use.
- These Easement shall run with the land and shall be binding upon and inure to the benefit of and be enforceable by the land owner and the Village and their respective heirs, personal representatives, successors and assigns.
- Trees, bushes, branches, and roots may be trimmed or removed so as not to interfere with the Village's use of the easement areas.

18-032-853-02

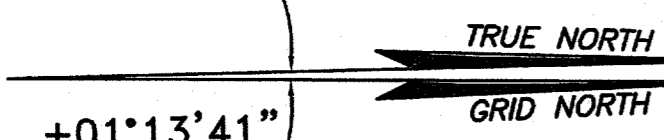
THIS INSTRUMENT WAS DRAFTED BY TED R. INDERMUEHLE, P.L.S. (S-3119)

18-032-853-01

CANADIAN NATIONAL RAILROAD

N2°27'02"E 2142.15

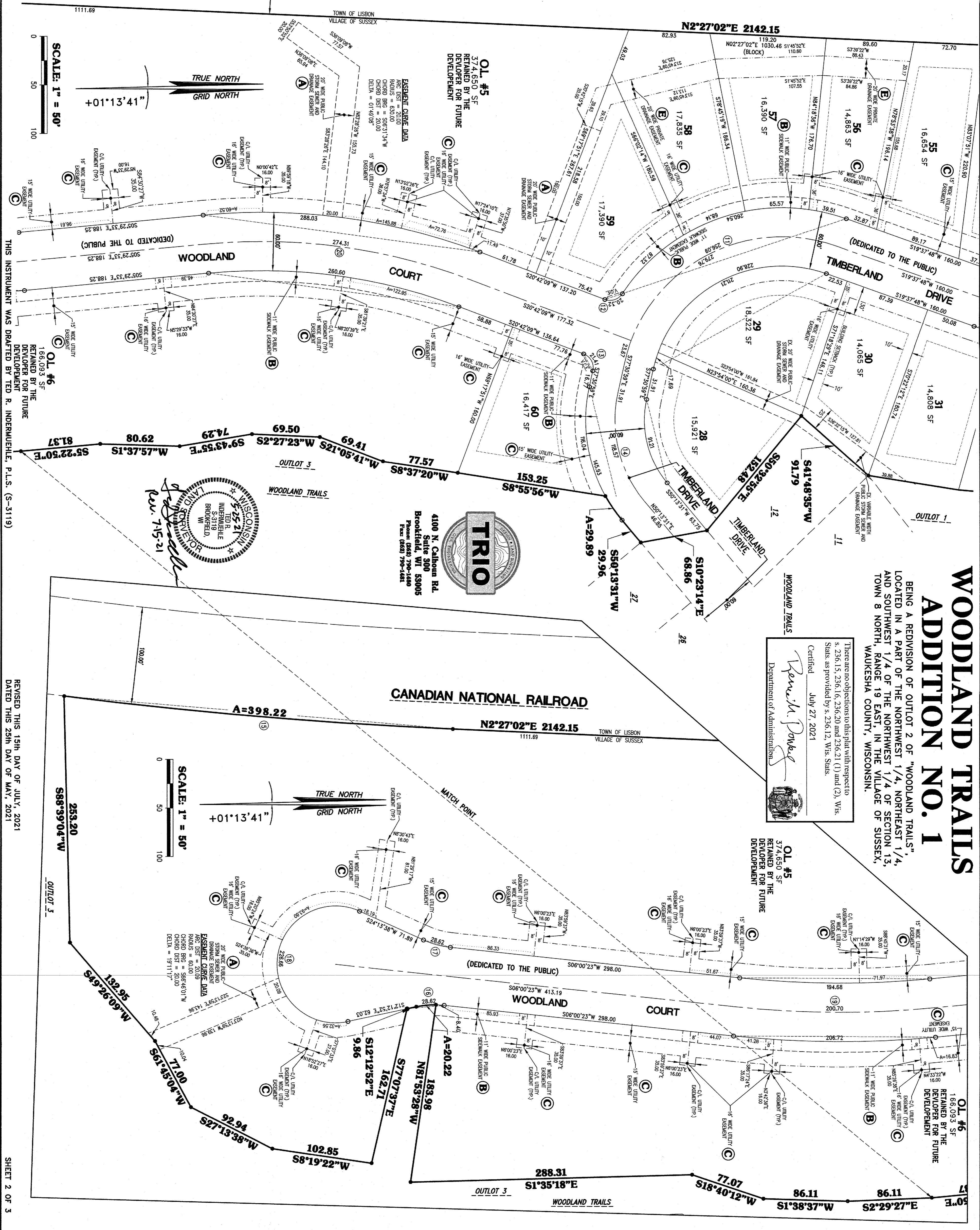
SCALE: 1" = 50'



THIS INSTRUMENT WAS DRAFTED BY TED R. INDEMNEMUEHL, P.L.S. (S-3119)

REVISED THIS 15th DAY OF JULY, 2021
DATED THIS 25th DAY OF MAY, 2021

SHEET 2 OF 3



OL #5
374,650 SF
RETAINED BY THE
DEVELOPER FOR FUTURE
DEVELOPMENT

OL #6
166,093 SF
RETAINED BY THE
DEVELOPER FOR FUTURE
DEVELOPMENT

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166,093 SF
RETAINED BY THE
DEVELOPER FOR FUTURE
DEVELOPMENT

4100 N. Calhoun Rd.
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1400
Fax: (262) 790-1401

WISCONSIN
LAND REVENUE
STATE OF WISCONSIN
S-3119
BROOKFIELD, WI
REV. 7-15-21

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LOCATED IN A PART OF THE NORTHWEST 1/4, NORTHEAST 1/4,
AND SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13,
TOWN 8 NORTH, RANGE 19 EAST, IN THE VILLAGE OF SUSSEX,
WAUKESHA COUNTY, WISCONSIN.

There are no objections to this plat with respect to
s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis.
Stats. as provided by s. 236.12, Wis. Stats.

Certified July 27, 2021

Rene M. Powell
Department of Administration

OL #5
374,650 SF
RETAINED BY THE
DEVELOPER FOR FUTURE
DEVELOPMENT

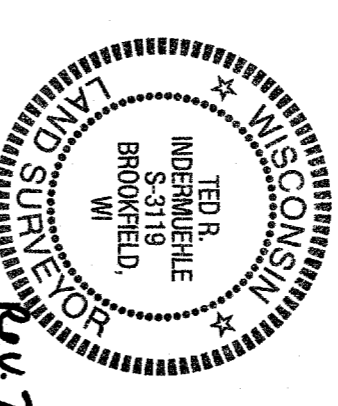
OL #6
166,093 SF
RETAINED BY THE
DEVELOPER FOR FUTURE
DEVELOPMENT

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SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
COUNTY OF WAUKESHA) SS
I, Tad R. Indermuehle, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mopped a redvision Outlot 2, of "Woodland Trails", recorded in the office of the Register of Deeds for Waukesha County on September 11, 2020 in Book 55 Pages 177 through 80 Inclusive, as Document No. 4510019, being a part of the Northwest 1/4, Northeast 1/4, and Southwest 1/4 of Section 13, Town 8 North, Range 19 East, Village of Sussex, County of Waukesha, State of Wisconsin.



Ted R. Indermuehle, P.L.S.
Professional Land Surveyor, S-3119
RIO ENGINEERING, LLC
4100 N. Calhoun Rd., Suite 300
Brookfield, WI 53005
Phone: (262)790-1480
Fax: (262)790-1481

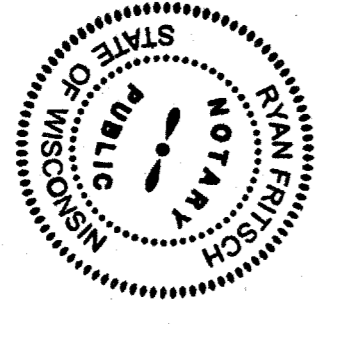
UTILITY EASEMENT PROVISIONS: ©

An easement for electric, natural gas, and communications service is hereby granted by WOODLAND TRAILS PRESERVE, LLC, Grantor, to WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee.

WOODLAND TRAILS PRESERVE, LLC, Grantee
SPECTRUM MKI-America, LLC, Grantee
their respective successors and assigns, to construct, install, operate, repair, maintain and replace...

CORPORATE OWNERS CERTIFICATE OF DEDICATION:

WOODLAND TRAILS PRESERVE, LLC, a Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Company has caused the land described on this plat to be surveyed, divided, mopped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.



Steve Declaire, President of Neumann Developments II's sole Member
WOODLAND TRAILS PRESERVE, LLC.

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CONSENT OF CORPORATE MORTGAGEE:

WOODLAND STATES BANK, a corporation duly organized and existing by virtue of the laws of the State of Illinois, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mopping and mapping of the land described on this Plat, and does hereby consent to the above Certificate of WOODLAND TRAILS PRESERVE, LLC, owner, this 20th day of August, 2021.

WOODLAND STATES BANK
Mortgagee

STATE OF ILLINOIS)
COUNTY OF FRANKLIN) SS
Personally come before me this 20th day of August, 2021, the above named, Pamela F. Reeves, being duly elected, qualified and acting Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unredemmed tax sales and no unpaid taxes or special assessments as of this 20th day of August, 2021 on any of the land included in the Plat of "WOODLAND TRAILS ADDITION NO. 1".



Pamela F. Reeves, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
COUNTY OF WAUKESHA) SS
I, Sam Liebert, being duly appointed, qualified and acting Treasurer of the Village of Sussex, do hereby certify that in accordance with the reports in my office, there are no unpaid taxes or special assessments as of this 10th day of August, 2021 on any of the land included in the Plat of "WOODLAND TRAILS ADDITION NO. 1".

Sam Liebert, Clerk/Treasurer

VILLAGE BOARD APPROVAL CERTIFICATE:

Resolved that the Plat of "WOODLAND TRAILS ADDITION NO. 1", in the Village of Sussex, WOODLAND TRAILS PRESERVE, LLC, owner, is hereby approved by the Village Board.

Anthony J. Sabourin, Village President

Sam Liebert, Clerk/Treasurer

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
COUNTY OF WAUKESHA) SS
I, Pamela F. Reeves, being duly elected, qualified and acting Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unredemmed tax sales and no unpaid taxes or special assessments as of this 20th day of August, 2021 on any of the land included in the Plat of "WOODLAND TRAILS ADDITION NO. 1".

Pamela F. Reeves, County Treasurer

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified July 27, 2021
Pamela F. Reeves
Department of Administration



Table with columns: NO., LOT(S), RADII, CENTRAL ANGLE, ARC CHORD, CHORD BEARING, TANGENT IN, TANGENT OUT. Contains detailed survey data for various lots.