

SITE DATA:
Total Site Area = 75.33 ac
Proposed Zoning = R-1, R-3, & R-5
Proposed Number of Lots = 100
- R-1 Lots = 5 lots
- R-3 Lots = 26 lots
- R-5 Lots = 69 lots
Net Density = 1.33 un/ac
Open Space = 34.76 ac (46.1%)
(OL 1 & OL 2)
Total Street Length = 5,417 lf (54.2 lf/lot)
- R-5 Road = 3,500 lf (50.7 lf/lot)
- R-3 Road = 1,767 lf (68.0 lf/lot)
- R-1 Road = 150 lf (30.0 lf/lot)

LOTS 1-69 Proposed Zoning: R-5 Minimum Lot Area= 8,000 sf (Typ. Lot Area= Min. 10,000 sf) Minimum Lot Width at Setback Line = 70' (Typ. Lot Width at Setback Line = 75') Minimum Front Yard Setback = 25' Minimum Side Yard Setback = 8' Minimum Rear Yard Setback = 25' Avg. Lot Size = 12,810 sf	LOTS 70-95 Proposed Zoning: R-3 Minimum Lot Area= 12,000 sf (Typ. Lot Area= Min. 15,000 sf) Minimum Lot Width at Setback Line = 80' (Typ. Lot Width at Setback Line = 85') Minimum Front Yard Setback = 30' Minimum Side Yard Setback = 12' Minimum Rear Yard Setback = 25' Avg. Lot Size = 15,700 sf	LOTS 96-100 Proposed Zoning: R-1 Minimum Lot Area= 16,000 sf (Typ. Lot Area= Min. 19,000 sf) Minimum Lot Width at Setback Line = 100' Minimum Front Yard Setback = 30' Minimum Side Yard Setback = 15' Minimum Rear Yard Setback = 25' Avg. Lot Size = 21,320 sf
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STORM WATER MANAGEMENT PLAN SUMMARY

MAPLE FIELDS IS PLANNED AS A SUBDIVISION CONSISTING OF 100 SINGLE-FAMILY LOTS WITH R-1, R-3, & R-5 ZONING, LOCATED IN THE SOUTHEAST CORNER OF THE VILLAGE OF JACKSON, ADJACENT TO MAPLE ROAD AND CONNECTED TO THE TWIN CREEKS SUBDIVISION (TO THE WEST) AND SHERMAN PARC SUBDIVISION (TO THE NORTH). THE STORM WATER MANAGEMENT PLAN FOR THIS DEVELOPMENT WILL BE A COMPREHENSIVE ANALYSIS OF THE ENTIRE PLANNED DEVELOPMENT, ACCOUNTING FOR ALL PHASES OF THE SUBDIVISION TO ENSURE COHESIVE PHASED IMPLEMENTATION.

THE FOLLOWING DESIGN STANDARDS WILL BE UTILIZED TO DEVELOP THE FINAL STORM WATER MANAGEMENT PLAN FOR THE MAPLE FIELDS SUBDIVISION:

- VILLAGE OF JACKSON STORMWATER MANAGEMENT ORDINANCE - CHAPTER 35
- WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS, NR 151 AND NR 216.
- SUMMARY OF DESIGN REQUIREMENTS:
 - PEAK DISCHARGE: BY DESIGN, BMPS SHALL BE EMPLOYED TO MAINTAIN OR REDUCE THE ONE-YEAR, 24-HOUR, FIVE-YEAR, 24-HOUR; AND THE 100-YEAR, 24-HOUR POST-CONSTRUCTION PEAK RUNOFF DISCHARGE RATES TO THE ONE-YEAR, 24-HOUR, TWO-YEAR, 24-HOUR; AND THE FIVE-YEAR, 24-HOUR PRE-DEVELOPMENT PEAK RUNOFF DISCHARGE RATES RESPECTIVELY, OR TO THE MAXIMUM EXTENT PRACTICABLE.
 - WATER QUALITY (TOTAL SUSPENDED SOLIDS): REDUCE, TO THE MAXIMUM EXTENT PRACTICABLE, THE TOTAL SUSPENDED SOLIDS LOAD BY 80%, BASED ON AN AVERAGE ANNUAL RAINFALL, AS COMPARED TO NO RUNOFF MANAGEMENT CONTROLS.
 - INFILTRATION: PER CHAPTER 35, LOW IMPERVIUOUSNESS, FOR DEVELOPMENT UP TO 40 PERCENT CONNECTED IMPERVIUOUSNESS, SUCH AS PARKS, CEMETERIES, AND LOW-DENSITY RESIDENTIAL DEVELOPMENT, INFILTRATE SUFFICIENT RUNOFF VOLUME SO THAT THE POST-DEVELOPMENT INFILTRATION VOLUME SHALL BE AT LEAST 90 PERCENT OF THE PRE-DEVELOPMENT INFILTRATION VOLUME, BASED ON AN AVERAGE ANNUAL RAINFALL. HOWEVER, WHEN DESIGNING APPROPRIATE INFILTRATION SYSTEMS TO MEET THIS REQUIREMENT, NO MORE THAN ONE PERCENT OF THE POST-CONSTRUCTION SITE IS REQUIRED AS AN EFFECTIVE INFILTRATION AREA.

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



PROJECT:
MAPLE FIELDS - PHASE 1
SINGLE FAMILY RESIDENTIAL SUBDIVISION
VILLAGE OF JACKSON, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
09/30/2021	PRELIM CIVIL PLANS
11/04/2021	VILLAGE SUBMITTAL
02/16/2022	PHASE 1 SUBMITTAL
03/16/2022	WATER MAIN/GRADING UPDATES
04/28/2022	PER VILLAGE REVIEW
05/11/2022	SANITARY SEWER UPDATES

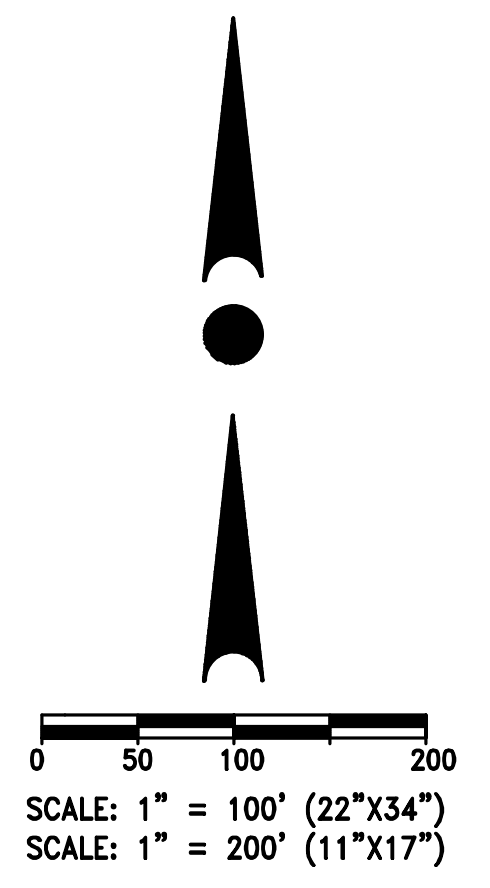
DATE:
MAY 11, 2022

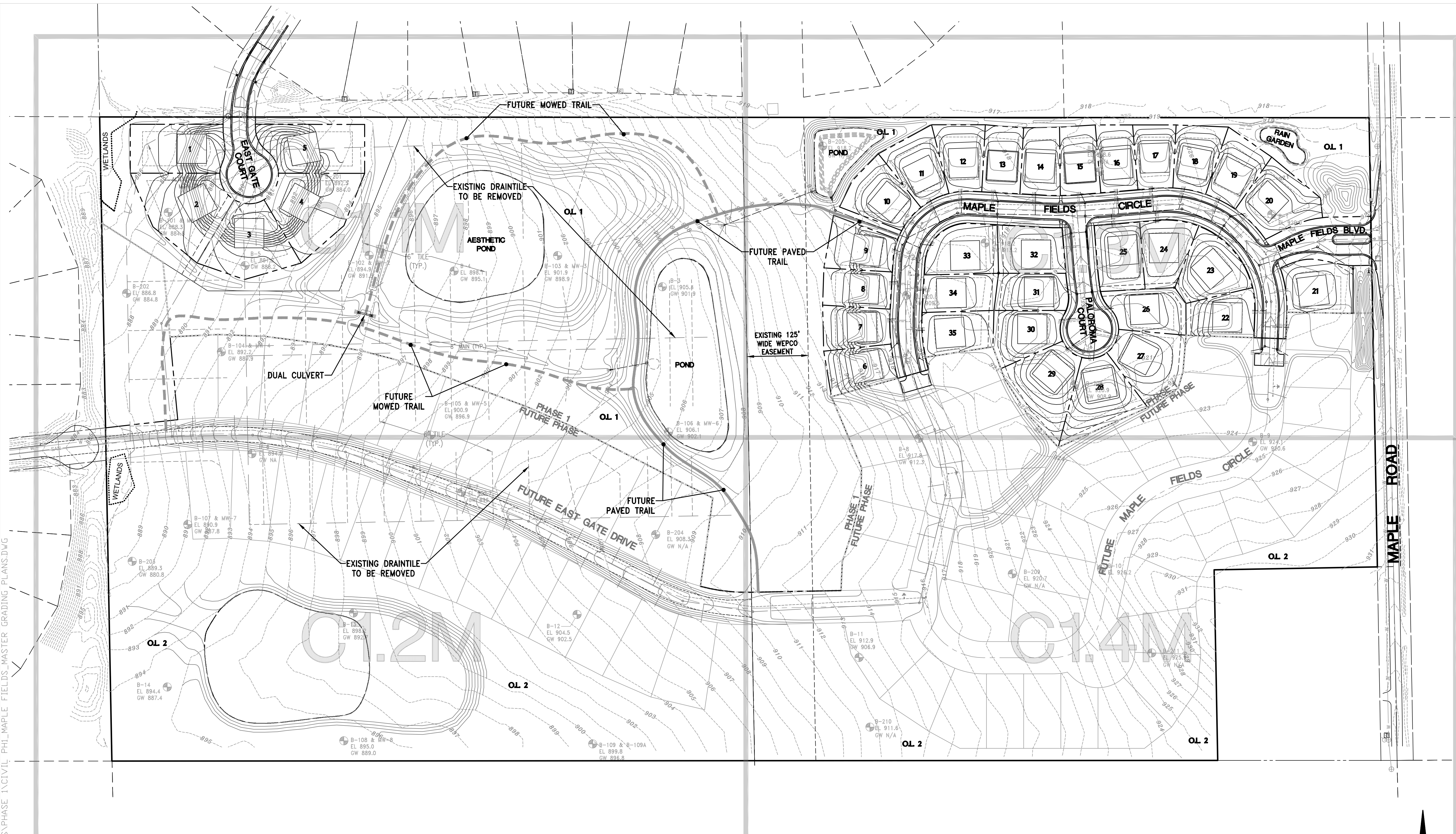
JOB NUMBER:
16016

DESCRIPTION:
OVERALL SITE PLAN

SHEET

C0.1





H:\C9000\998\16016-01\CONSTRUCTION PLANS\PHASE 1\CIVIL_P1\MAPLE_FIELDS_MASTER GRADING PLANS.DWG

CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

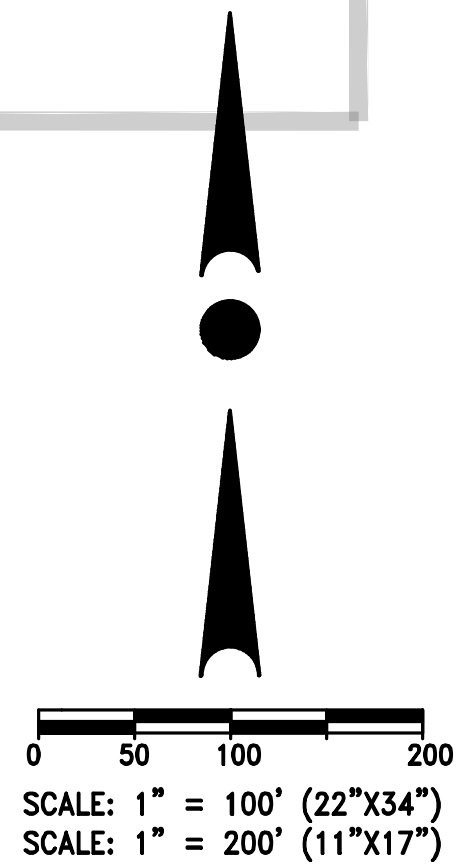
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LEGEND:

905	- EXISTING CONTOUR
905	- PROPOSED CONTOUR
X 921.0	- PROPOSED SPOT ELEVATION
←	- PROPOSED FLOW ARROW
FG 900.0	- PROPOSED YARD GRADE
EXP 895.0	- PROPOSED EXPOSURE GRADE

TYPICAL HOME ELEVATIONS
NOT TO SCALE

8' BASEMENTS (TYPICAL)	FG 100.0	- FINISHED YARD GRADE
PROPOSED CONCEPTUAL BUILDING PAD	EXP 96.0	- EXPOSURE ELEV.
	BSMT 92.0	- BASEMENT ELEV.



PROJECT:
MAPLE FIELDS - PHASE 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

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04/28/2022	PER VILLAGE REVIEW
05/11/2022	SANITARY SEWER UPDATES

DATE:
MAY 11, 2022

JOB NUMBER:
16016

DESCRIPTION:
OVERALL
MASTER
GRADING PLAN

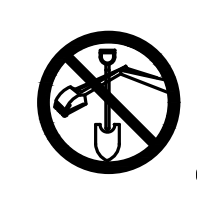
SHEET

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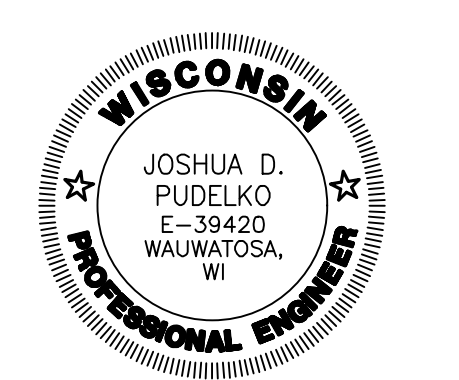
LEGEND:

- - - 90.5 - EXISTING CONTOUR
- - - 905 - PROPOSED CONTOUR
- X 921.0 - PROPOSED SPOT ELEVATION
- ← - PROPOSED FLOW ARROW
- FG 900.0 - PROPOSED YARD GRADE
- EXP 895.0 - PROPOSED EXPOSURE GRADE

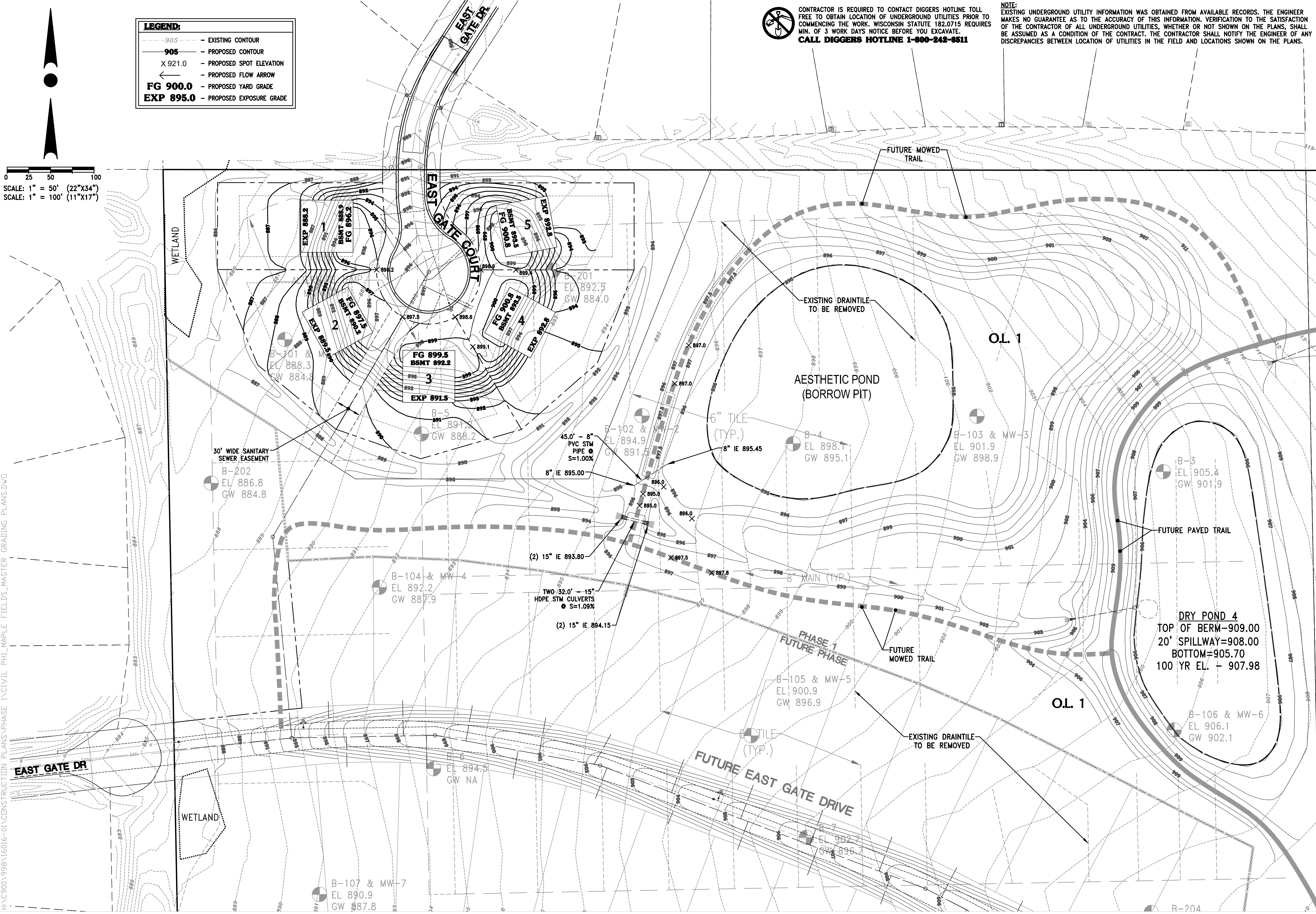
0 25 50 100
 SCALE: 1" = 50' (22"x34")
 SCALE: 1" = 100' (11"x17")

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4100 N. CALHOUN RD
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: info@trioeng.com



PROJECT:
MAPLE FIELDS - PHASE 1
 SINGLE FAMILY RESIDENTIAL SUBDIVISION
 VILLAGE OF JACKSON, WISCONSIN
 BY: NEUMANN DEVELOPMENTS, INC.
 N27W24025 PAUL COURT, SUITE 100
 PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
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04/28/2022	PER VILLAGE REVIEW
05/11/2022	SANITARY SEWER UPDATES

DATE:
 MAY 11, 2022

JOB NUMBER:
 16016

DESCRIPTION:
 MASTER GRADING & DRAINAGE PLAN

SHEET

C1.1M

H:\C9000\998\16016-01\CONSTRUCTION PLANS\PHASE 1\CIVIL PH1 MAPLE FIELDS_MASTER GRADING PLANS.DWG