

Document # 1573699
WASHINGTON COUNTY WISCONSIN
2023-01-04 3:39:00 PM
Grady L. Gossler
SHERMAN ROAD
WASHINGTON COUNTY
REGISTER OF DEEDS
Tel: 850.00



Pages: 5

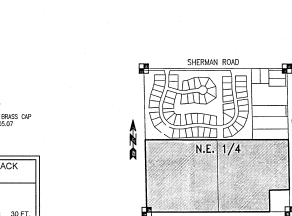
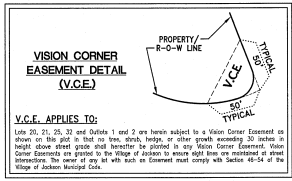
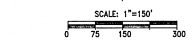
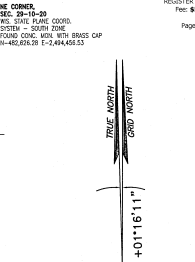
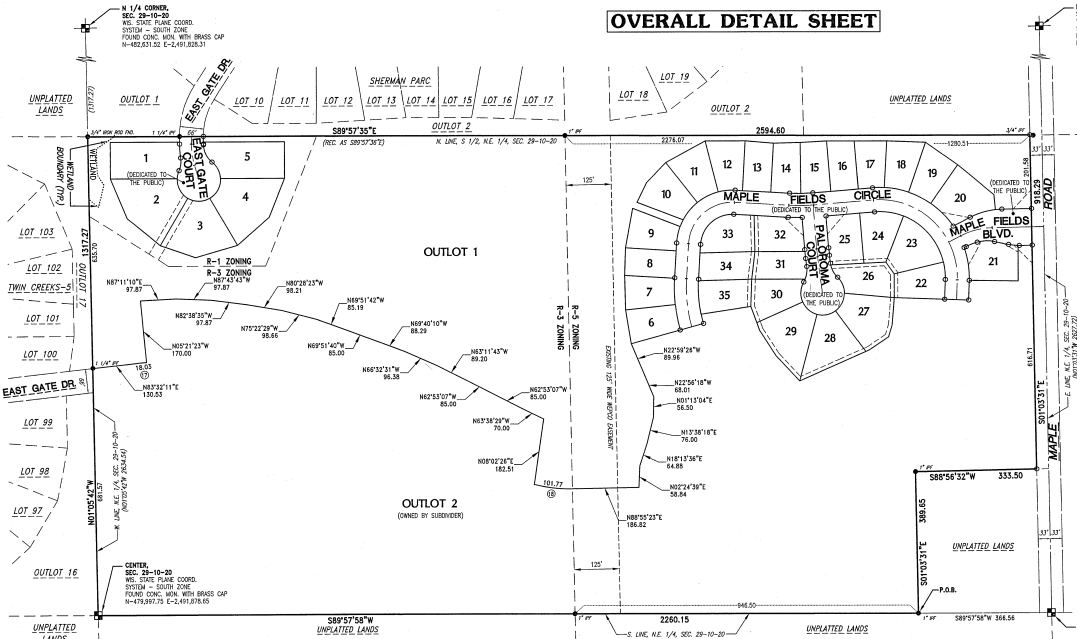
4100 N. Calhoun Road
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1400
Fax: (262) 790-1411

OWNER:
MAPLE FIELDS, LLC
N27W42S5 PAUL COURT, STE. 100
FENWICK, WI 53072
PHONE: (262) 845-9200
FAX: (262) 349-9324

MAPLE FIELDS

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29,
TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

OVERALL DETAIL SHEET



GENERAL NOTES:

- 0- = Indicates Set 1271' outside diameter x 18" long Reinforcing Bar weighing 4.303 lbs. per lined foot. All other Lot and Outlot corners are staked with 0.750" outside diameter x 18" long Reinforcing Bar weighing 1.502 lbs. per lined foot.
- = Indicates Found Monumentation (See Plat).
- All linear measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to nearest second and computed to the nearest half-second.
- All bearings are referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27), in which the East line of the N.E. 1/4 of Section 29, Town 10 North, Range 20 East, bears North 01°03'31" West.
- The Easements for Sanitary Sewer, Storm Sewer and Drainage are herein granted to the Village of Jackson.
- The Owners of the residential Lots 1 through 35 within the "Maple Fields" Subdivision and any future additions to this subdivision, shall each own an equal undivided fractional interest in Outlot 1 of this Subdivision. The use and maintenance of Outlot 1 is governed by a land management plan approved by the Village of Jackson as contained within the Developer's Agreement. Washington County shall not be liable for fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision by reason of tax delinquency.
- Outlot 2 to be retained by the Owner for future development.
- Welland was delineated by STANTEC in May 2018 and field located by Trio Engineering, LLC in May 2018.
- Stormwater Management Facilities are located on Outlot 1 of this Subdivision. The Owners of the residential Lots within this Subdivision and any future additions to this Subdivision shall each be liable for an equal undivided fractional share of the cost to repair, maintain or restore said Stormwater Management Facilities within this Subdivision. Said repairs, maintenance and restoration shall be performed by the Owners of all Lots within this Subdivision and any future additions to this Subdivision consistent with the Stormwater Management Plan contained in the Developer's Agreement recorded for this subdivision in the Washington County Register of Deeds office.
- Stormwater management practices are located in Outlot 1 of this subdivision. There are one or more separate documents recorded on the property titles through the Washington County register of deeds entitled "Stormwater Management Practice Maintenance Agreement" ("Maintenance Agreement") that apply to Outlots. The Maintenance Agreement subjects this Subdivision Plat and all Lot Owners thereto. In compliance, conditions, and restrictions necessary to ensure the long-term maintenance of the storm water management practice. The Agreement also outlines a process by which the Village of Jackson may hire and collect special assessments or charges for any services the community might provide relating to enforcement of the Maintenance Agreement.

PRESERVATION RESTRICTIONS:

The Welland Preservation Areas shown on this Plat shall be subject to the following restrictions:

- Grading, filling, and excavation shall be prohibited in said Preservation Area. Except as may be required for Mature Walking Trails.
- Construction of buildings within said Preservation Area shall be prohibited.
- Removal or destruction of any vegetative cover, i.e., trees, shrubs, wildflowers, sedges, grasses, and the like, shall be prohibited with the exception of dead or diseased vegetation removal and noxious weeds as defined in the local municipality weed control ordinance, except as may be required for Mature Walking Trails.
- Introduction of plant material not indigenous to the existing environment of the Preservation Area shall be prohibited in the Preservation Area.
- Grazing by domesticated animals (e.g., horses and cows) shall be prohibited within said Preservation Area.
- Creation and use of nature walking trails within the Preservation Area shall be permitted so long as such use is in conformance with existing topography.

BUILDING SETBACK SUMMARY

DEVELOPMENT:	MIN. FRONT SETBACK:	MIN. REAR SETBACK:	MIN. SIDE SETBACK:
R-1 (LOTS 1-5)	30 FT.	25 FT.	15 FT.
R-2 (LOTS 6-10)	30 FT.	25 FT.	15 FT.
R-3 (LOTS 11-15)	30 FT.	25 FT.	15 FT.
R-4 (LOTS 16-20)	30 FT.	25 FT.	15 FT.
R-5 (LOTS 21-25)	30 FT.	25 FT.	15 FT.
R-6 (LOTS 26-30)	30 FT.	25 FT.	15 FT.
R-7 (LOTS 31-35)	30 FT.	25 FT.	15 FT.



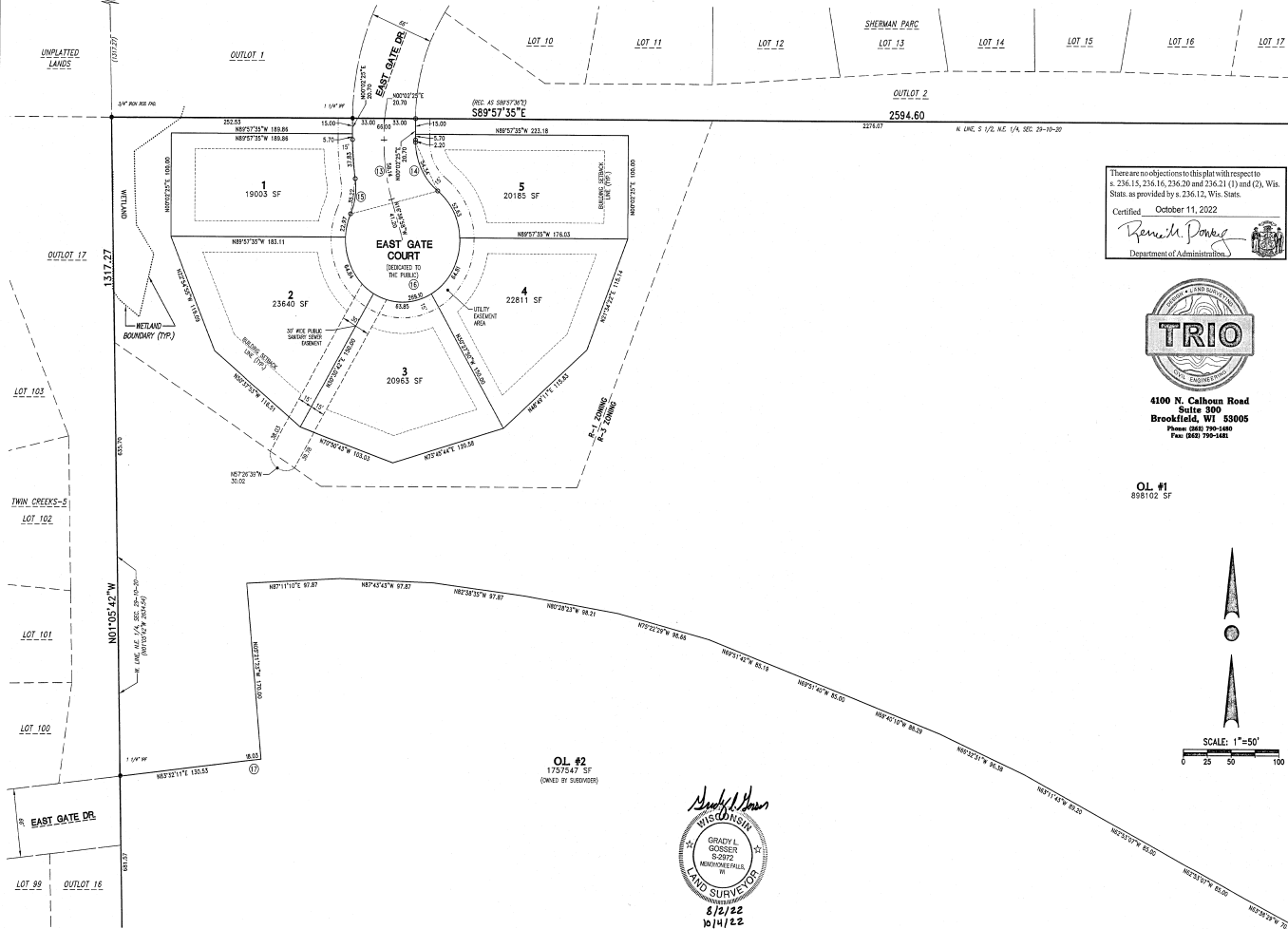
There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified: October 11, 2022

Grady L. Gossler
Department of Administration

MAPLE FIELDS

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

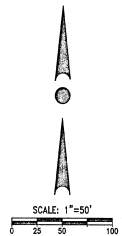
Certified October 11, 2022

Renee M. Doring
 Department of Administration



4100 N. Calhoun Road
 Suite 300
 Brookfield, WI 53005
 Phone: (262) 790-1800
 Fax: (262) 790-1481

OL #1
 898102 SF

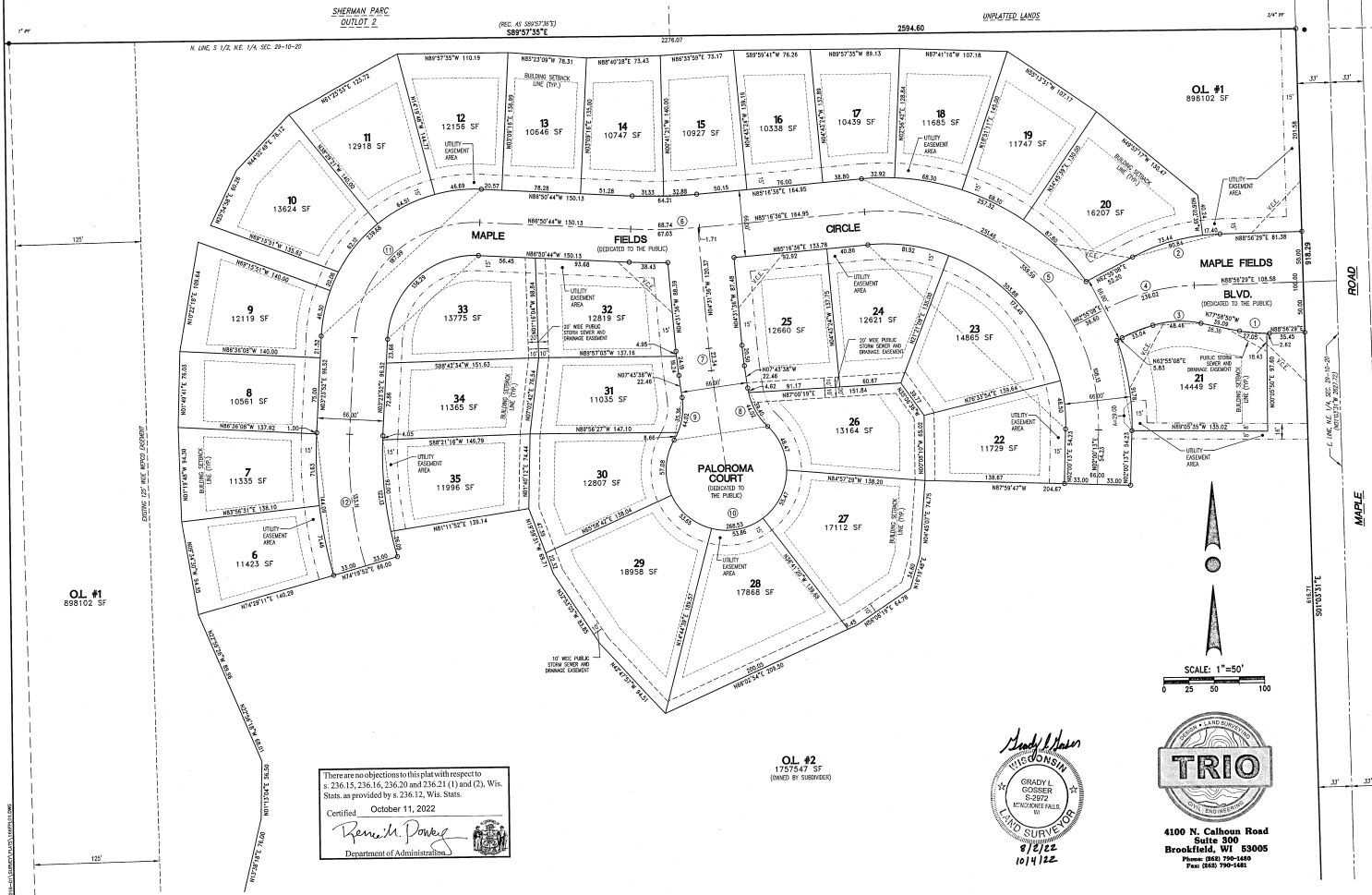


OL #2
 1757247 SF
 (OWNED BY SUBDIVISION)



MAPLE FIELDS

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29,
TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.



OL #1
898102 SF


OL #1
898102 SF

OL #2
1757547 SF
(OWNED BY SUBDIVISION)

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified October 11, 2022

Renee M. Donkey
Department of Administration




4100 N. Calhoun Road
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1440
Fax: (262) 790-1481

SCALE: 1"=50'
0 25 50 100

REVISED THIS 4TH DAY OF OCTOBER, 2022
DATED THIS 2ND DAY OF AUGUST, 2022

MAPLE FIELDS

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
1	TOTAL	130.00	13°04'41"	29.67	29.61	S84°31'10.5"E	S77°58'50"E	N85°56'29"E
	21	130.00	11°55'90"	27.05	27.00	S83°56'30"E	S77°58'50"E	S89°54'10"E
	OUTLOT 2	130.00	1°09'21"	2.62	2.62	N89°31'09.5"E	S89°54'10"E	N88°56'29"E
2	TOTAL	200.00	26°01'21"	90.84	90.06	N75°55'48.5"E	N62°55'08"E	N88°56'29"E
	20	200.00	21°02'12"	73.44	73.02	N72°26'14.5"E	N62°55'08"E	N83°57'21"E
	OUTLOT 1	200.00	4°59'08"	17.40	17.40	N86°26'55"E	N83°57'21"E	N88°56'29"E
3	21	100.00	27°45'56"	46.46	47.89	N88°08'12"E	N74°15'14"E	S73°58'50"E
	C/L	200.00	26°01'21"	90.84	90.06	N75°55'48.5"E	N62°55'08"E	N88°56'29"E
4	21	167.00	11°20'06"	33.04	32.98	S68°35'11"W	S74°15'14"W	S62°55'08"W
	C/L	213.00	96°43'37"	359.59	318.38	S46°21'35.5"E	N85°16'36"E	S02°00'13"W
	NORTHWEST C/L	213.00	67°38'32"	251.46	237.11	S69°54'08"E	N85°16'36"E	S27°04'52"E
	SOUTHEAST C/L	213.00	29°05'05"	108.13	106.87	S12°32'19.5"E	S27°04'52"E	S02°00'13"W
	NORTH	246.00	59°55'58"	257.32	245.75	S64°45'24.5"E	N85°16'36"E	S34°47'25"E
5	17	246.00	7°40'06"	32.92	32.90	N89°06'39"E	N85°16'36"E	S87°03'18"E
	18	246.00	15°54'29"	68.30	68.08	S79°05'03.5"E	S87°03'18"E	S71°08'49"E
	19	246.00	15°54'28"	68.30	68.08	S63°11'35"E	S71°08'49"E	S55°14'21"E
	20	246.00	20°26'56"	87.80	87.33	S45°00'53"E	S55°14'21"E	S34°47'25"E
	21	246.00	21°22'31"	91.78	91.24	N06°41'02.5"W	N02°00'13"E	N19°22'18"W
	SOUTH	180.00	96°43'37"	303.88	269.05	S46°21'35.5"E	N85°16'36"E	S02°00'13"W
	24	180.00	26°04'33"	81.92	81.21	S81°41'07.5"E	N85°16'36"E	S68°38'51"E
	23	180.00	55°12'45"	173.46	166.82	S41°02'28.5"E	S68°38'51"E	S13°26'06"E
	22	180.00	15°26'19"	48.50	48.36	S05°42'56.5"E	S13°26'06"E	S02°00'13"W
	6	C/L	500.00	7°52'40"	68.74	68.69	N89°12'56"E	S86°50'44"E
C/L EAST		500.00	0°11'48"	1.71	1.71	N85°22'30"E	N85°28'24"E	N85°16'36"E
C/L WEST		500.00	7°40'52"	67.03	66.98	N89°18'50"E	S86°50'44"E	N85°28'24"E
NORTH		467.00	7°52'40"	64.21	64.16	N89°12'56"E	S86°50'44"E	N85°16'36"E
14		467.00	3°50'37"	31.33	31.32	S88°46'02.5"E	S86°50'44"E	N89°16'39"E
15		467.00	4°02'03"	32.88	32.87	N87°17'37.5"E	N89°16'39"E	N85°16'36"E
SOUTH		533.00	4°07'53"	38.43	38.42	S88°54'40.5"E	S86°50'44"E	N89°01'23"E
C/L		400.00	31°2'02"	22.34	22.34	N09°07'37"W	N07°43'38"W	N04°31'36"W
EAST		367.00	31°2'02"	20.50	20.50	S06°07'37"E	S04°31'36"E	S07°43'38"E
WEST		433.00	31°2'02"	24.19	24.18	S06°07'37"E	S04°31'36"E	S07°43'38"E
7	32	433.00	0°39'16"	4.95	4.95	N04°51'14"W	N05°10'52"W	N04°31'36"W
	31	433.00	2°32'46"	19.24	19.24	N06°27'15"W	N07°43'38"W	N05°10'52"W
	TOTAL	66.00	38°12'45"	44.02	43.21	S26°50'00.5"E	S07°43'38"E	S45°56'23"E
	25	66.00	4°00'39"	4.62	4.62	N09°43'57.5"W	N11°44'17"W	N07°43'38"W
	26	66.00	34°12'06"	39.40	38.82	N28°50'20"W	N45°56'23"W	N11°44'17"W
9	TOTAL	66.00	38°12'48"	44.02	43.21	N11°22'46"E	N30°29'10"E	N07°43'38"W
	30	66.00	7°31'13"	8.66	8.66	N26°43'33.5"E	N30°29'10"E	N22°57'57"E
	31	66.00	39°41'35"	35.36	34.93	N07°37'09.5"E	N22°57'57"E	N07°43'38"W
	TOTAL	60.00	256°25'33"	268.53	94.29	S82°16'23.5"W	S49°56'23"E	N30°29'10"E
10	26	60.00	46°16'54"	48.47	47.16	N22°47'56"W	N00°20'31"E	N45°56'23"W
	27	60.00	52°58'09"	55.47	53.51	N26°49'35.5"E	N5°18'40"E	N00°20'31"E
	28	60.00	51°25'59"	53.86	52.07	N79°01'39.5"E	S75°15'21"E	N5°18'40"E
	29	60.00	51°14'03"	53.65	51.88	S49°38'19.5"E	S24°01'18"E	S75°15'21"E
	30	60.00	54°30'28"	57.08	54.95	S03°13'56"W	S30°29'10"W	S24°01'18"E

CURVE TABLE:

NO.	LOT(S)	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
11	C/L	120.00	89°45'24"	187.99	169.34	N48°16'34"E	N03°23'52"E	S86°50'44"E
	9	153.00	89°45'24"	239.68	215.91	N48°16'33.5"E	N03°23'52"E	S86°50'44"E
12	10	153.00	17°20'17"	46.30	46.12	N12°04'00.5"E	N03°23'52"E	N20°44'09"E
	OUTLOT 1	153.00	7°30'40"	20.06	20.04	N24°29'29"E	N20°44'09"E	N28°14'49"E
	11	153.00	23°15'50"	62.12	61.70	N39°52'44"E	N28°14'49"E	N51°30'39"E
	12	153.00	24°09'33"	64.51	64.04	N63°35'25.5"E	N51°30'39"E	N75°40'12"E
	11	153.00	17°29'04"	46.69	46.51	N42°24'44"E	N05°40'12"E	S86°50'44"E
13	SOUTH	87.00	89°45'24"	136.29	122.77	N48°16'34"E	N03°23'52"E	S86°50'44"E
	C/L	400.00	19°04'00"	133.11	132.50	S08°08'08"E	S03°23'52"W	S15°40'08"E
14	EAST	367.00	19°04'00"	122.13	121.57	N06°08'08"W	N15°40'08"W	N03°23'52"E
	34	367.00	0°37'54"	4.05	4.05	N03°04'55"E	N02°45'58"E	N03°23'52"E
	35	367.00	14°21'45"	92.00	91.76	N04°24'54.5"W	N11°35'47"W	N02°45'58"E
	OUTLOT 2	367.00	4°04'21"	26.08	26.08	N13°37'57.5"W	N15°40'08"W	N11°35'47"W
	WEST	433.00	19°04'00"	144.09	143.43	N06°08'08"W	N15°40'08"W	N03°23'52"E
15	8	433.00	0°07'56"	1.00	1.00	N03°19'54"E	N03°15'56"E	N03°23'52"E
	7	433.00	9°28'43"	71.63	71.55	N01°28'25.5"W	N06°12'47"W	N03°15'56"E
	6	433.00	9°27'21"	71.46	71.38	N10°56'27.5"W	N15°40'08"W	N06°12'47"W
	C/L	200.00	16°39'23"	58.14	57.94	S08°17'16.5"E	S00°02'25"W	S16°36'58"E
	5	167.00	0°45'17"	2.20	2.20	S00°20'13.5"E	S00°02'25"W	S00°42'52"E
	4	167.00	9°18'13"	37.83	37.79	S04°36'41.5"E	S00°02'25"W	S08°15'48"E
16	TOTAL	60.00	256°26'10"	269.10	93.93	N75°52'47"E	S24°21'55"W	N52°36'21"W
	1	60.00	21°56'13"	22.97	22.83	S13°23'48.5"W	S24°21'55"W	S02°25'42"W
17	2	60.00	61°55'00"	64.84	61.73	S28°31'48"E	S02°25'42"W	S59°29'18"E
	3	60.00	60°58'32"	63.85	60.88	S89°58'34"E	S59°29'18"E	N59°32'10"E
	4	60.00	61°53'02"	64.81	61.70	N28°38'39"E	N59°32'10"E	N02°20'50"W
	5	60.00	50°12'29"	52.65	50.96	N27°28'36.5"E	N02°20'52"W	N52°36'21"W
	18	O.L. 1/O.L. 2	933.00	1°06'28"	18.03	18.03	N84°05'24"E	N83°32'11"E
18	O.L. 1/O.L. 2	367.00	15°53'15"	101.77	101.44	S87°07'59.5"E	S75°11'22"E	N88°55'23"E

Grady L. Gossier
 GRADY L. GOSSIER
 P.L.S.
 FOND DU LAC, WISCONSIN
 LAND SURVEYOR
 8/2/22
 10/14/22



4100 N. Calhoun Road
 Suite 300
 Brookfield, WI 53005
 Phone: (262) 790-4500
 Fax: (262) 790-1681

There are no objections to this plat with respect to § 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by a 236.12, Wis. Stats.
 Certified October 11, 2022
Rene M. Doney
 Department of Administration

16-016-953-02

Map Book 53 Pg 105

MAPLE FIELDS

BEING A SUBDIVISION OF A PART OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWN 10 NORTH, RANGE 20 EAST, IN THE VILLAGE OF JACKSON, WASHINGTON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
COUNTY OF WAUKESHA) SS

I, Grady L. Gosser, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped all that part of the Southwest 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 29, Town 10 North, Range 20 East, in the Village of Jackson, Washington County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the East 1/4 Corner of said Section 29; Thence South 89°57'58" West and along the South line of the said Northeast 1/4 Section, 355.55 feet to the corner of beginning of lands hereinafter described;
Continuing Thence South 89°57'58" West and along the said South line of the said Northeast 1/4 Section, 2260.15 feet to a point marking the Center of said Section 29; Thence North 01°05'42" West and along the West line of the said Northeast 1/4 Section, 1317.27 feet to a point; Thence South 89°57'59" East and along the North line of the South 1/2 of the said Northeast 1/4 Section which is coincident with the South line of "Sherman Park" Subdivision (A Subdivision Plat of Record), 2594.60 feet to a point on the West Right-of-Way line of "Maple Road"; Thence South 01°03'31" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 33.00 feet from the East line of the said Northeast 1/4 Section, 918.29 feet to a point; Thence South 88°58'32" West and along the North line of Unplatted Lands, 333.50 feet to a point; Thence South 01°03'31" East and along the West line of said Unplatted Lands, 389.65 feet to the point of beginning of this description.

Said Parcel contains 3,281,280 Square Feet (or 75.3278 Acres) of land, more or less.

That I have made such survey, land division, and map by the direction of MAPLE FIELDS, LLC, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Regulations of the Village of Jackson, Washington County, Wisconsin in surveying, dividing and mapping the same.

Dated this 2nd Day of August, 20 22
Revised: 10/14/22



Grady L. Gosser
Grady L. Gosser, P.L.S.
Professional Land Surveyor, S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

UTILITY EASEMENT PROVISIONS:

An easement for electric, natural gas, and communications service is hereby granted by MAPLE FIELDS, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, and WISCONSIN BELL, Inc. doing business as AT&T Wisconsin, a Wisconsin corporation, and SPECTRUM MID-AMERICA, LLC, Grantee, and

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same as now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given; and the right to enter upon the subdivided property for all such purposes. The Grantee agrees to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantee or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed upon Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantee.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION:

MAPLE FIELDS, LLC, a Wisconsin Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Limited Liability Company has caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. I also certify that this plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection.

- APPROVING AGENCIES: 1. Village of Jackson
- AGENCIES WHO MAY OBJECT: 1. State of Wisconsin, Department of Administration
2. Washington County, Planning and Parks Department

Witness the hand and seal of said Owner this 21st day of October, 20 22.

MAPLE FIELDS, LLC
Steve DeLuena
Steve DeLuena, President of Neumann Developments, its Sole Member

STATE OF WISCONSIN)
COUNTY OF WAUKESHA) SS

Personally come before me this 21st day of October, 20 22, the above named Steve DeLuena, President of Neumann Developments, its Sole Member of the above named Limited Liability Company, to me known to be the person who executed the foregoing instrument, and to me known to be such President of said Limited Liability Company, and acknowledged that he executed the foregoing instrument as such officer as the deed of said Limited Liability Company, by its authority.



Kristina A. Winkler
Print Name: Kristina A. Winkler
Public, Waukesha County, WI
My Commission Expires: 02/28/2026

CONSENT OF CORPORATE MORTGAGEE:

MIDLAND STATES BANK, a corporation duly organized and existing by virtue of the laws of the State of Illinois, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedicating of the land depicted on this Plat, and does hereby consent to the above certificate of MAPLE FIELDS, LLC, owner, this 21st day of October, 20 22.

MIDLAND STATES BANK
Mandy Hennig
Mandy Hennig, Commercial Leader

STATE OF ILLINOIS)
COUNTY OF) SS

Personally come before me this 16th day of October, 20 22, the above named Mandy Hennig, Commercial Leader of the above named corporation, to me known to be the person who executed the foregoing instrument, and to me known to be such Commercial Leader of said corporation, and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.



Mandy Hennig
Print Name: Mandy Hennig
Public, Washington County, WI
My Commission Expires: 11/13/2024

There are no objections to this plat with respect to S. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified October 11, 2022
Rebecca M. Pankov
Department of Administration



4100 N. Calhoun Road
Suite 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

CERTIFICATE OF COUNTY TREASURER:

STATE OF WISCONSIN)
WASHINGTON COUNTY) SS

I, Scott M. Henke, being the duly elected, qualified and acting Treasurer of the County of Washington, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of the 4th Day of January, 20 22 affecting the lands included in the plat of "MAPLE FIELDS".

Dated this 4th Day of January, 20 22.

Scott M. Henke
Scott M. Henke, County Treasurer

CERTIFICATE OF VILLAGE TREASURER:

STATE OF WISCONSIN)
WASHINGTON COUNTY) SS

I, Darlene Smith, being the duly elected, qualified and acting Treasurer of the Village of Jackson, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of the 13th Day of September, 20 22 affecting the lands included in the plat of "MAPLE FIELDS".

Dated this 21st Day of October, 20 22.

Darlene Smith
Darlene Smith, Village Treasurer

VILLAGE BOARD APPROVAL:

Resolved, that the plat of "MAPLE FIELDS", in the Village of Jackson, having been recommended by the Plan Commission, and being the same, is hereby approved and the dedication herein accepted by the Village Board of Trustees of the Village of Jackson, on the 13th Day of September, 20 22.

Dated this 21st Day of October, 20 22.

Michelle Schweb
Michelle Schweb, Village President
Joe Keller
Joe Keller, Village Administrator